

PROJECT DATA

PROJECT DESCRIPTION:
DEMOLISH EXISTING 2-STORY HOUSE & BUILD A NEW 2-STORY HOUSE WITH BASEMENT

PROJECT ADDRESS: 66 SYLVIAN WAY, LOS ALTOS, CA

PROJECT OWNERS: CHUNG-KAO HSIEH & HSIU-CHING HSIEH LIN

APN: 167-29-040

ZONING: R-1-10

GROSS LOT SIZE: 14,667 SF (0.336 ACRE)

NET LOT SIZE: 11,467 SF (0.263 ACRE)

TYPE OF CONSTRUCTION: V-B, SPRINKLERED

BUILDING OCCUPANCY: R-3 / U

ALLOWABLE FLOOR AREA: 3,850 + (.1) (467) = 3,896.7

EXISTING TREE CHART

TREE NUMBER	COMMON NAME	BOTANICAL NAME	DIAM	LOCATION	REMOVE / STAYING	CITY REQUIRE REPLACEMENT
1	CAMPBOR	CINNAMOMUM CAMPHORA	27"	FRONT YARD	STAYING	
2	DEODAR	CEDRUS DEODARA	27"	FRONT YARD	STAYING	
3	MAPLE	ACER PALMATUM	5"	FRONT YARD	REMOVE	YES
4	MAPLE	ACER PALMATUM	7"	FRONT YARD	REMOVE	YES
5	MAPLE	ACER PALMATUM	15"	FRONT YARD	REMOVE	YES
6	MAPLE	ACER PALMATUM	11"	FRONT YARD	REMOVE	YES
7	TOUR TREE	LINDORINON TULPIFERA	15"	BACK YARD	REMOVE	YES
8	MAPLE	ACER PALMATUM	117"	BACK YARD	REMOVE	YES
9	MAPLE	ACER PALMATUM	11"	BACK YARD	STAYING	
10	BLACK PINE	PNUS THUNBERGII	5"	BACK YARD	REMOVE	YES
11	OLIVE	OLEA EUROPEA	9"	BACK YARD	REMOVE	YES
12	PRIVET	LIGUSTRUM JAPONICUM	11"	BACK YARD	REMOVE	YES

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ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED / REQ'D
LOT COVERAGE	3,165.5 SF (27.6%)	3,151.4 SF (27.48%)	30% MAX. = 3,440.1 SF
FLOOR AREA LIVING AREA			
1ST FLR	2,394.6 SF ±	2,052.1 SF	
2ND FLR	645.6 SF ±	1,392.4 SF	
GARAGE	724.8 SF ±	447.5 SF	
SUBTOTAL	3,765 SF (32.83%)	3,892 SF (33.94%)	3,896.7 SF
PORCHES	11 SF ±	415.1 SF	
LIGHTWELLS	0 SF	236.7 SF	
SETBACKS FRONT	39.6'	25'-2"	25'-0" REAR
RIGHT SIDE (1ST / 2ND)	51.7'	49'-2"	25'-0"
LEFT SIDE (1ST / 2ND)	12.3'	10'-8" / 25'-2"	10'-0" / 17'-6"
HEIGHT	25' ±	26'-3"	27'

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	3,040.2 SF ±	404.3 SF	3,444.5 SF
NON-HABITABLE AREA	724.8 SF ±	<277.3> SF	447.5 SF

LOT CALCULATIONS			
	EXISTING	CHANGE IN	TOTAL PROPOSED
NET LOT AREA	11,467 SF	11,467 SF	
FRONT YARD HARDSCAPE AREA	490 SF	636 SF (31.8%)	
LANDSCAPING BREAKDOWN TOTAL HARDSCAPE AREA (INCLUDING STRUCTURES)	5,632 SF	6,128 SF	
TOTAL SOFTSCAPE AREA	5,835 SF	5,339 SF	

VICINITY MAP

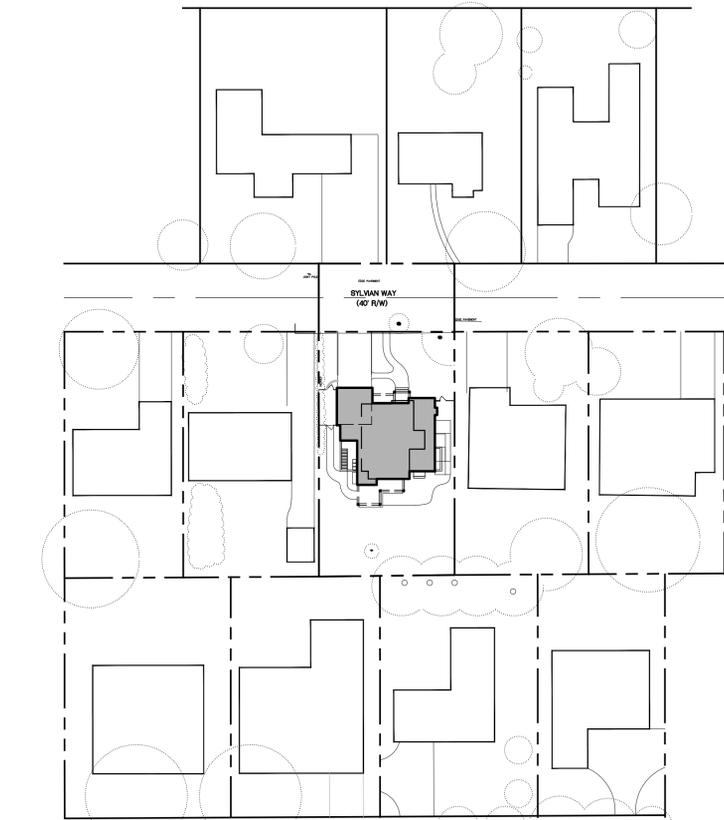


APPROXIMATE ADJACENT HOUSE LOCATION

SITE BENCHMARK
ASSUMED ELEVATION
SET MAG NAIL W/ WASHER
ELEVATION= 100.00'

SITE ACREAGE

14,667± S.F. (GROSS) 0.336± ACRES	11,467± S.F. (NET) 0.263± ACRES
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NEIGHBORHOOD CONTEXTUAL MAP 1" = 50'-0"

TREE PROTECTION FENCING NOTES:

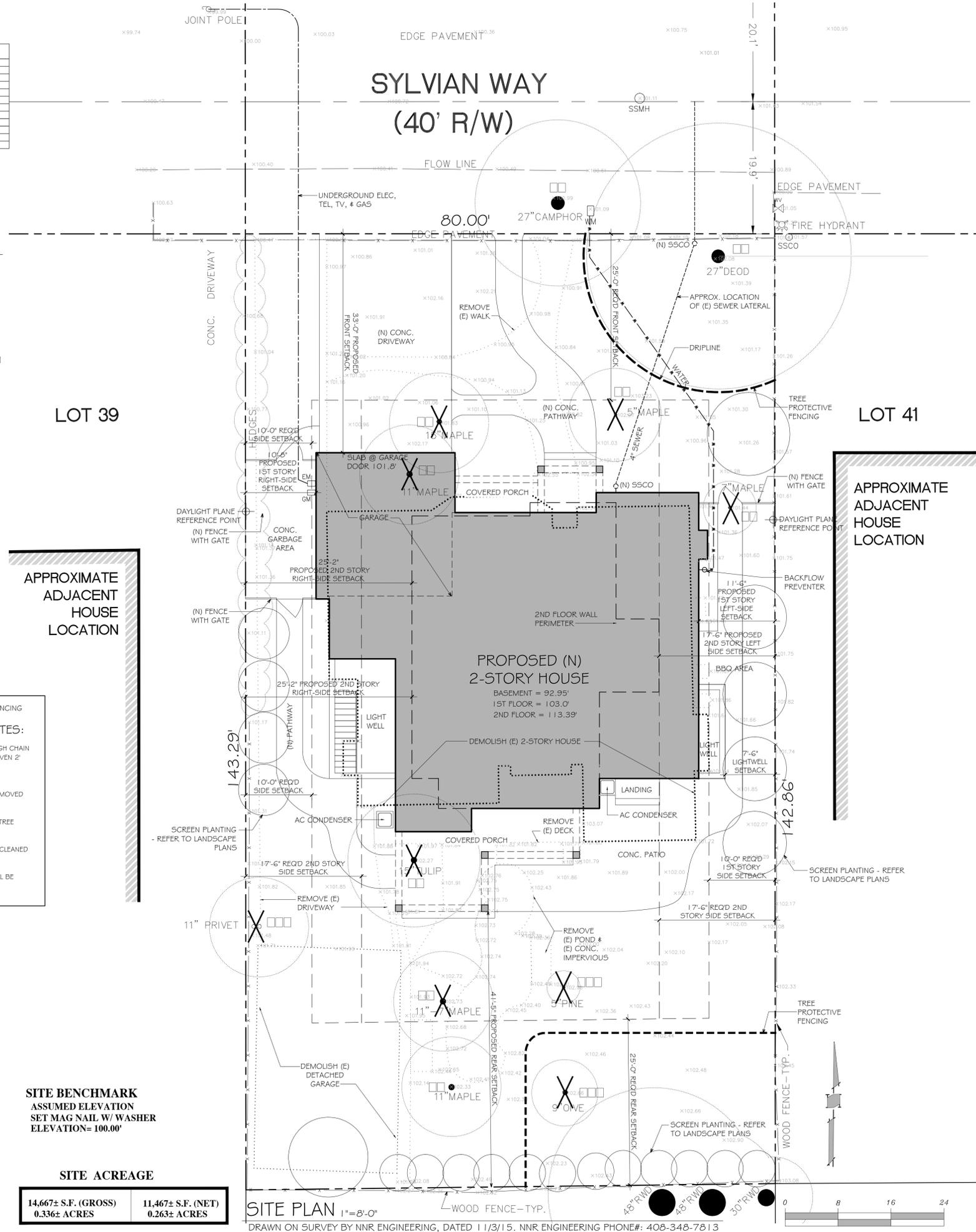
TREE PROTECTION FENCING SHALL BE A MIN. OF 6" HIGH CHAIN LINK MOUNTED ON 2"Ø GALVANIZED STEEL POSTS DRIVEN 2' MIN. INTO THE GROUND AT A 10' MAX. SPACING

TREE PROTECTION FENCING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL APPROVED BY ARBORIST OR RECORD.

SIGNS SHALL BE PLACED ON FENCING WHICH READ: "TREE PROTECTION ZONE - KEEP OUT".

NO MATERIALS OR EQUIPMENT SHALL BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES.

ALL TRENCHING WITHIN THE DRIPLINES OF TREES SHALL BE HAND-DUG.



SITE PLAN 1"=8'-0"

DRAWN ON SURVEY BY NNR ENGINEERING, DATED 11/3/15. NNR ENGINEERING PHONE#: 408-348-7813

DRAWINGS PREPARED BY
CHRIS SPAULDING
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801 CAMELIA STREET SUITE E
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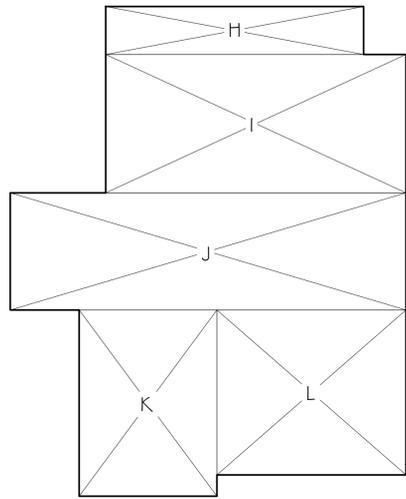
REVISIONS	BY
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3-1-16	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

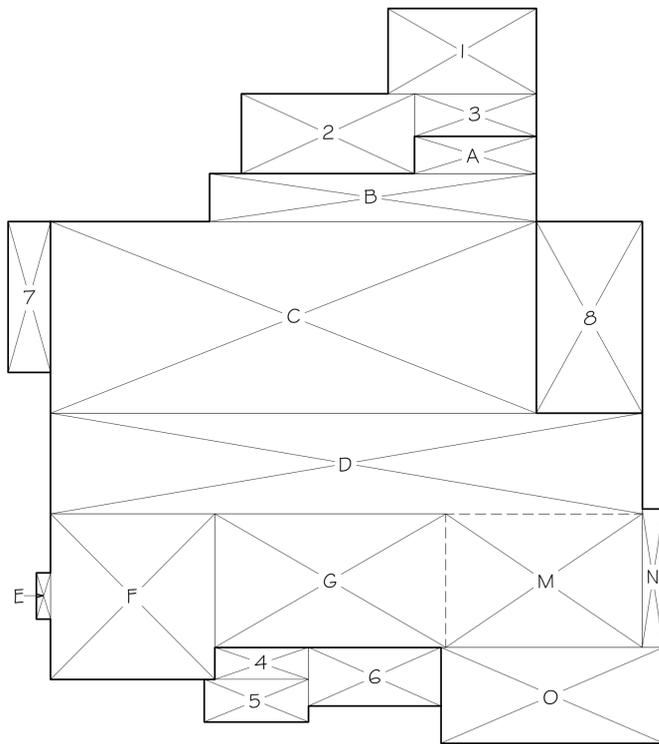
A PROPOSED NEW HOME FOR
HSIEH-LIN
66 SYLVIAN WAY
LOS ALTOS CALIFORNIA

DATE: 12-20-15
SCALE: AS NOTED
DRAWN: EL/CS/DB/KD
JOB: HSIEH
SHEET

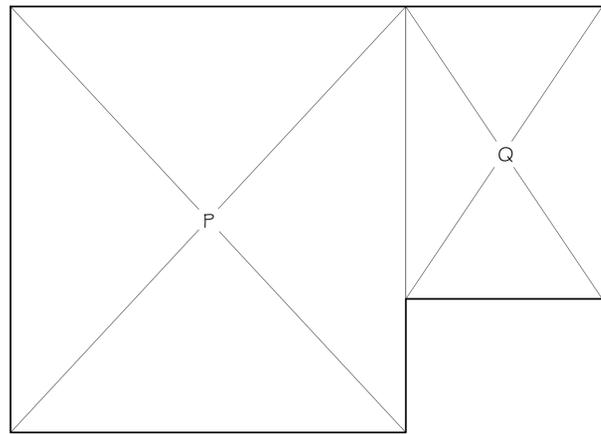
A1
OF 15 SHEETS



2ND FLOOR 1/8" = 1'-0"



1ST FLOOR 1/8" = 1'-0"



BASEMENT 1/8" = 1'-0"

SECTION	DIMENSIONS	AREA
1ST FLOOR LIVING AREA		
A	11'-6" x 3'-6"	40.25
B	30'-10" x 4'-6"	138.75
C	45'-10" x 18'-0"	824.99
D	55'-10" x 9'-5 1/2"	528.09
E	1'-4" x 4'-4"	5.78
F	15'-6" x 15'-6 1/2"	240.89
G	21'-9 1/2" x 12'-6 1/2"	273.3
GARAGE		
M	18'-6 1/2" x 12'-6 1/2"	232.54
N	2'-0" x 13'-0"	26
O	21'-0" x 9'-0"	189
COVERED PORCHES		
1	14'-0" x 8'-0"	112
2	16'-4" x 7'-6"	122.49
3	11'-6" x 4'-0"	46
4	8'-10" x 3'-0"	26.49
5	9'-10" x 4'-0"	39.33
6	12'-6" x 5'-6"	68.75
LIGHTWELLS		
7	4'-0" x 14'-2"	56.67
8	10'-0" x 18'-0"	180
2ND FLOOR LIVING AREA		
H	24'-4" x 4'-6"	109.49
I	28'-4" x 13'-0"	368.33
J	37'-4" x 11'-0"	410.67
K	13'-0" x 17'-6"	227.5
L	17'-10" x 15'-6"	276.42
BASEMENT FLOOR LIVING AREA		
P	37'-3 1/2" x 40'-0"	1,491.67
Q	18'-1 1/2" x 27'-5 1/2"	509.12

TOTAL FLOOR AREA:

1ST FLOOR	2,052.1
GARAGE	447.5
2ND FLOOR	1,392.4
TOTAL	3,892

(BASEMENT IS NOT COUNTED AS FLOOR AREA)

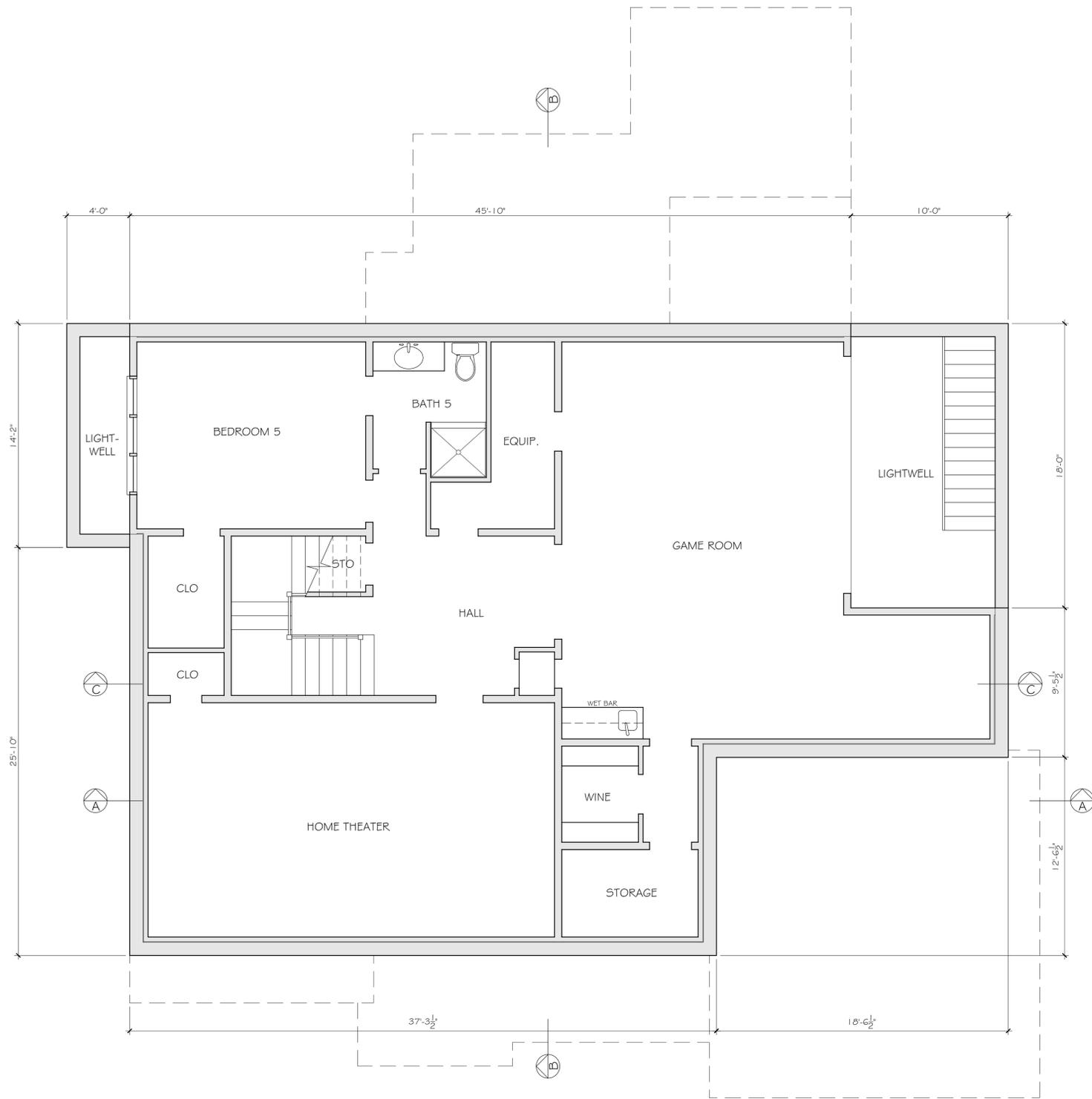
TOTAL LOT COVERAGE:

1ST FLOOR	2,052.1
GARAGE	447.5
PORCHES	415.1
LIGHTWELLS	236.7
TOTAL	3,151.4

EXISTING FLOOR AREA:

1ST FLOOR	2,394.6
2ND FLOOR	645.6
TOTAL	3,040.2

(E) DET. GARAGE 724.8



BASEMENT FLOOR PLAN

1/4" = 1'-0"



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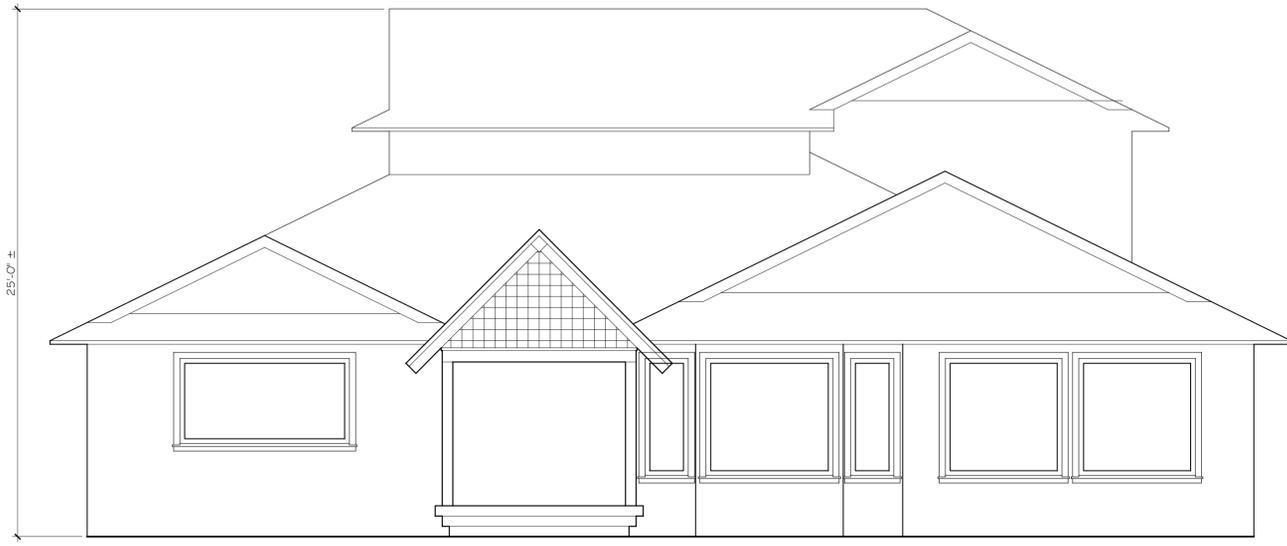
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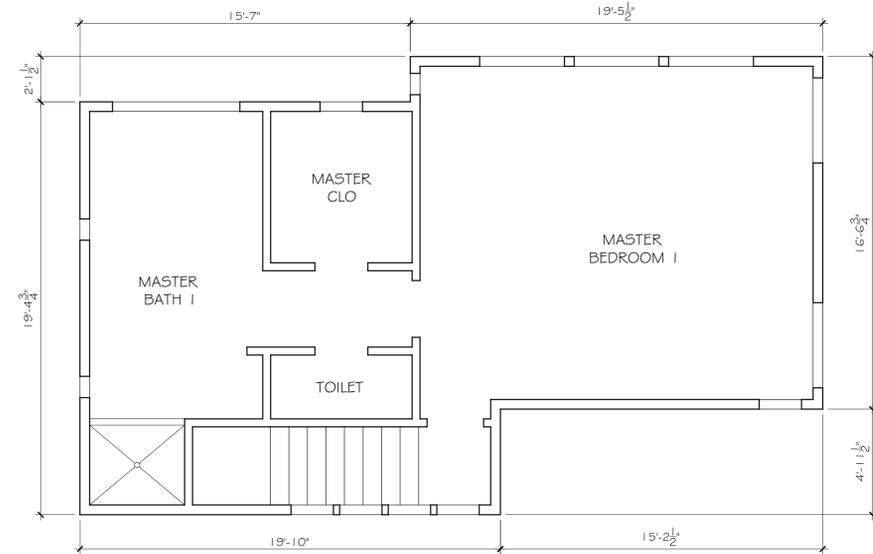
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SHEET	

A2
OF 15 SHEETS



EXISTING FRONT ELEVATION

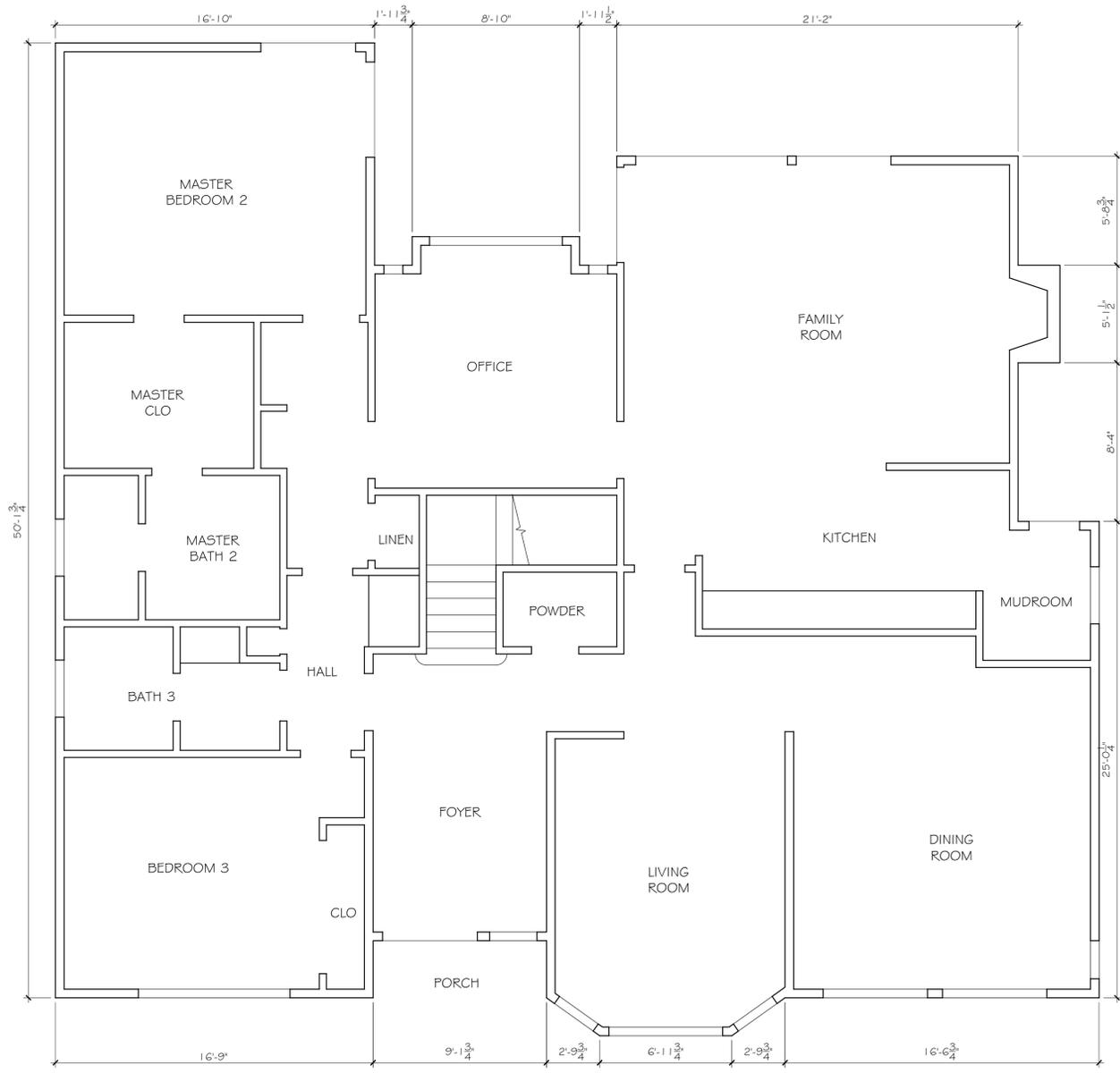
1/4" = 1'-0"



EXISTING HOUSE 2ND FLOOR PLAN

1/4" = 1'-0"

FLOOR AREA 645.6



EXISTING HOUSE 1ST FLOOR PLAN

1/4" = 1'-0"

FLOOR AREA 2,394.6



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A3
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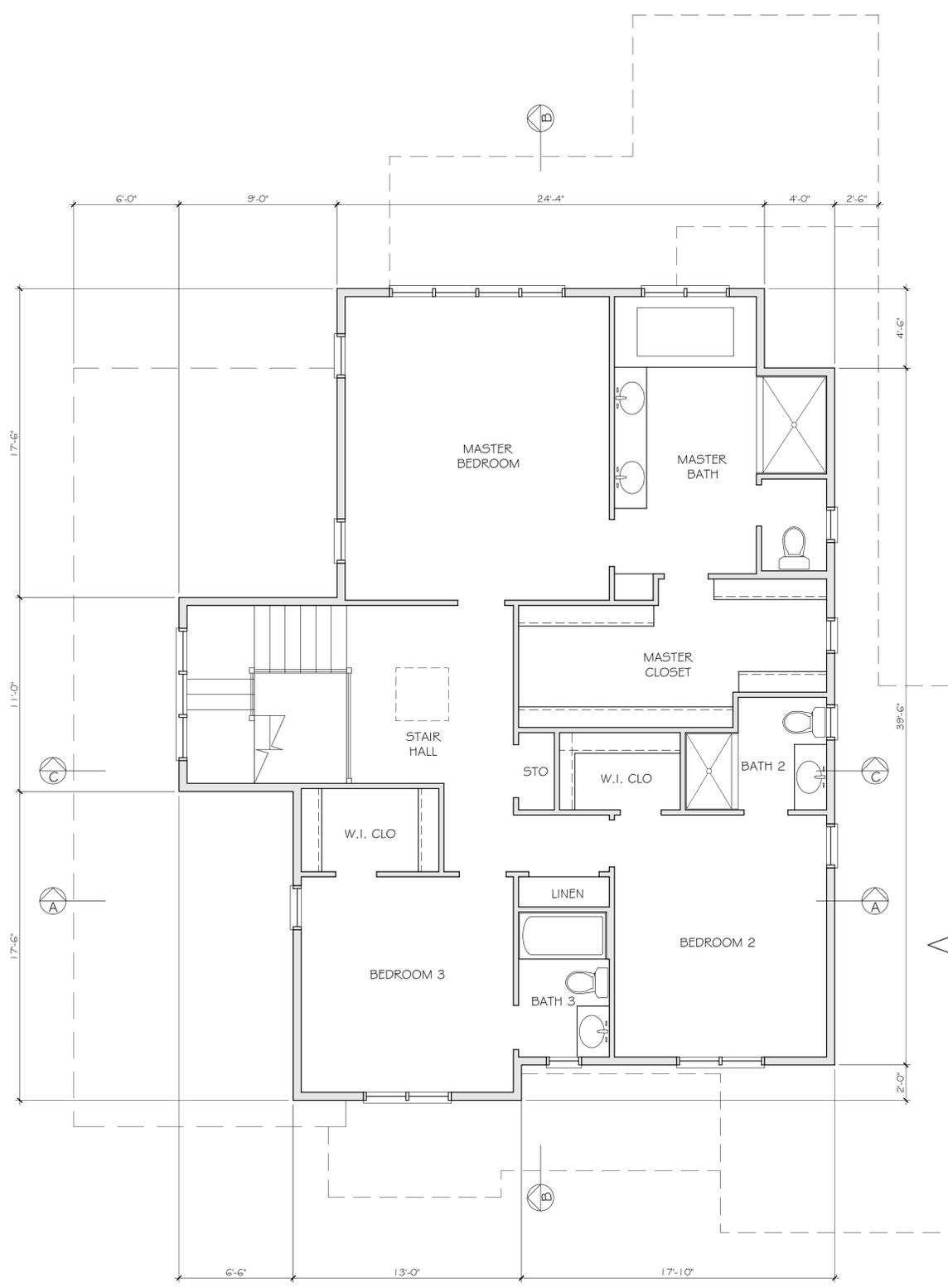
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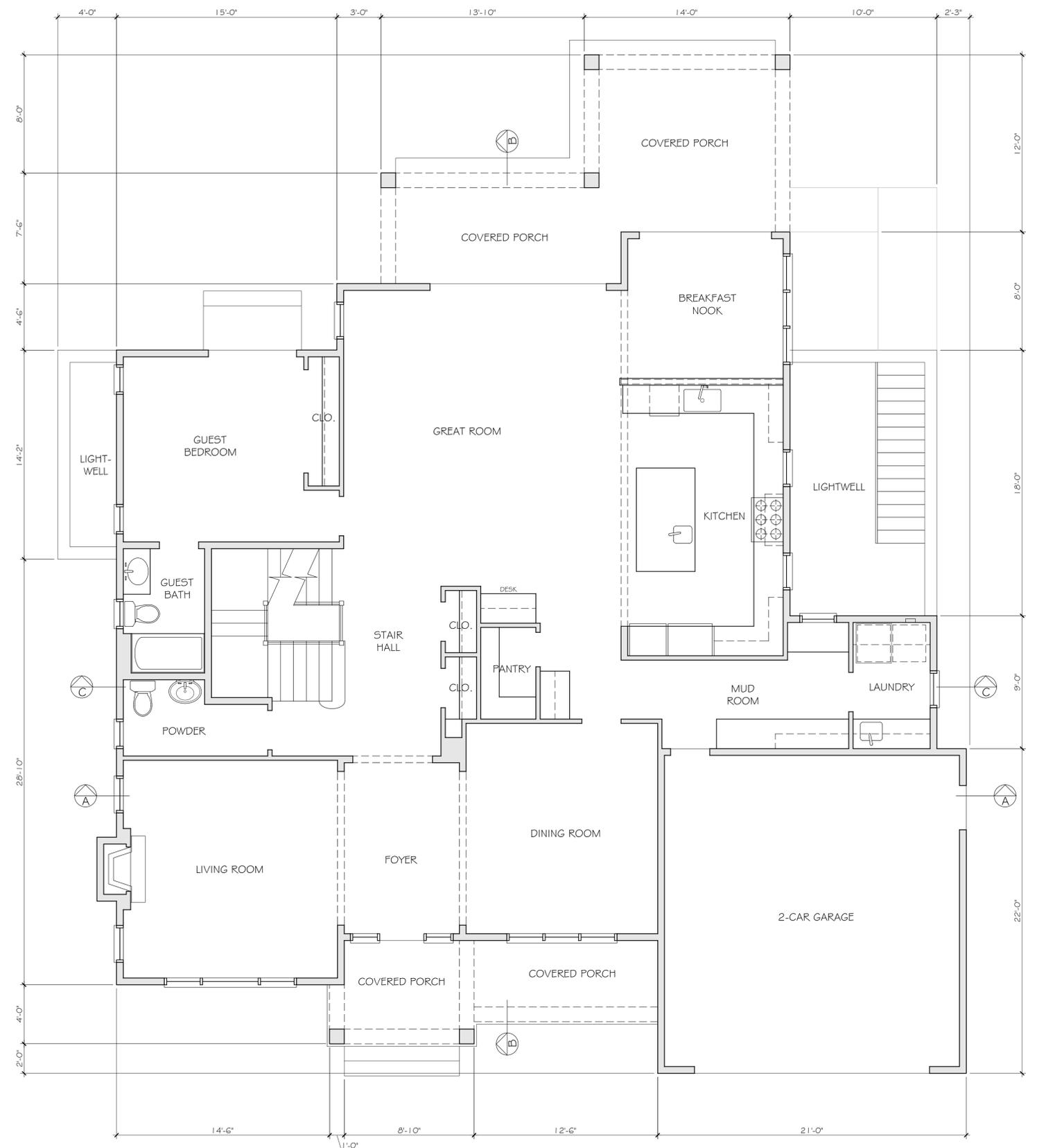
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SHEET	

A4
 OF 15 SHEETS



SECOND FLOOR PLAN 1/4" = 1'-0"

0 5 10 15 20 25



FIRST FLOOR PLAN 1/4" = 1'-0"

0 5 10 15 20 25

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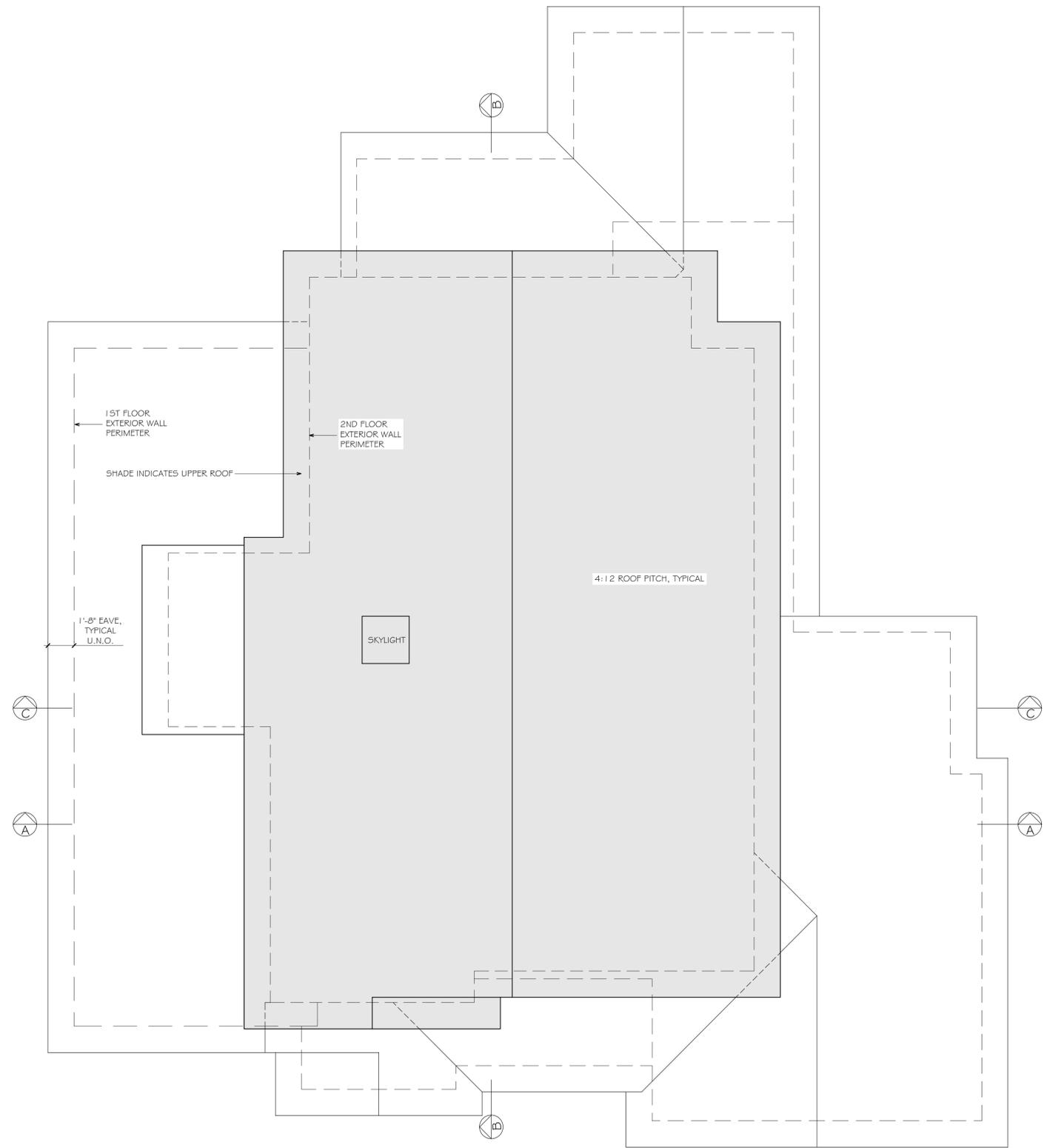
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SHEET	

A5
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ROOF PLAN

1/4" = 1'-0"



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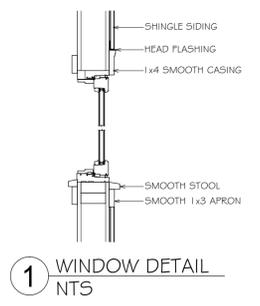
FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



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PERMIT SET	
CONSTRUCTION SET	

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HSIEH-LIN
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 LOS ALTOS CALIFORNIA

DATE: 12-20-15
 SCALE: AS NOTED
 DRAWN: ELCS/DB/KD
 JOB: HSIEH
 SHEET

A6
 OF 15 SHEETS

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SCALE:	AS NOTED
DRAWN:	ELCS/DB/RD
JOB:	HSIEH
SHEET	

A7
 OF 15 SHEETS



LEFT-SIDE ELEVATION

1/4" = 1'-0"

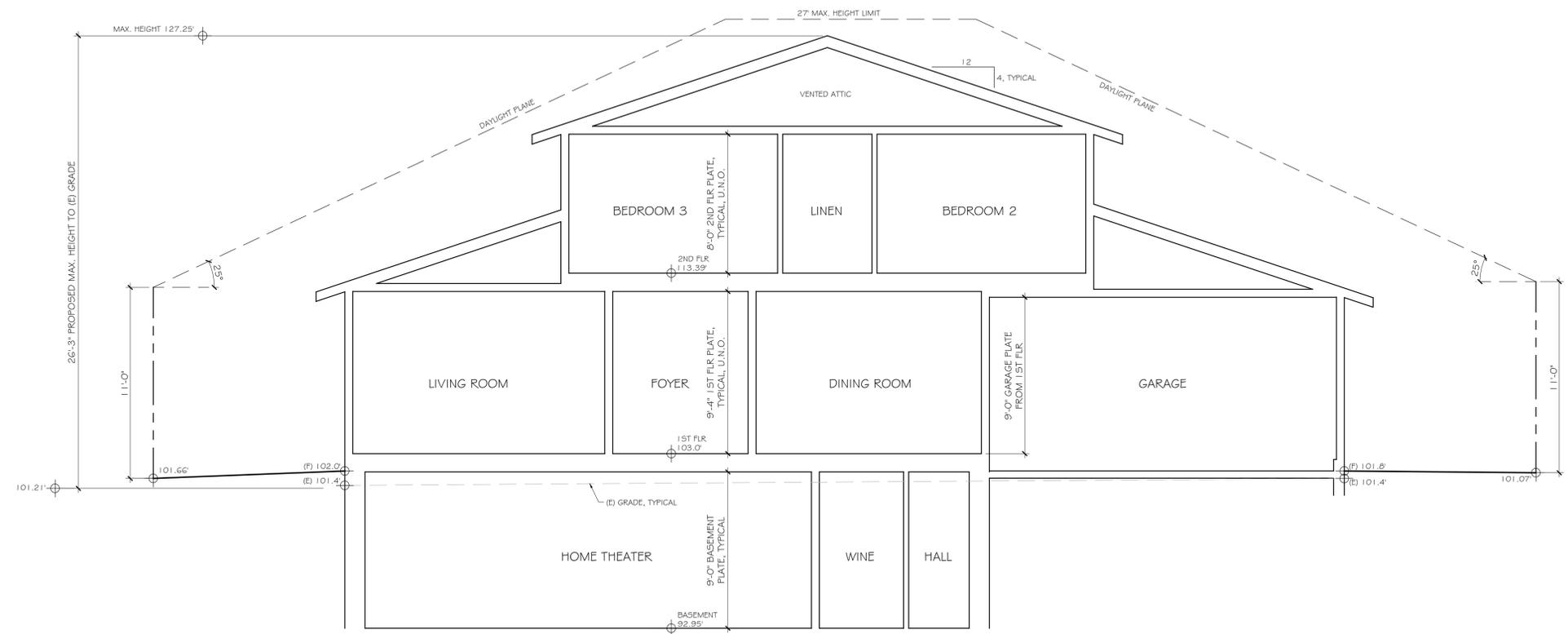


RIGHT-SIDE ELEVATION

1/4" = 1'-0"

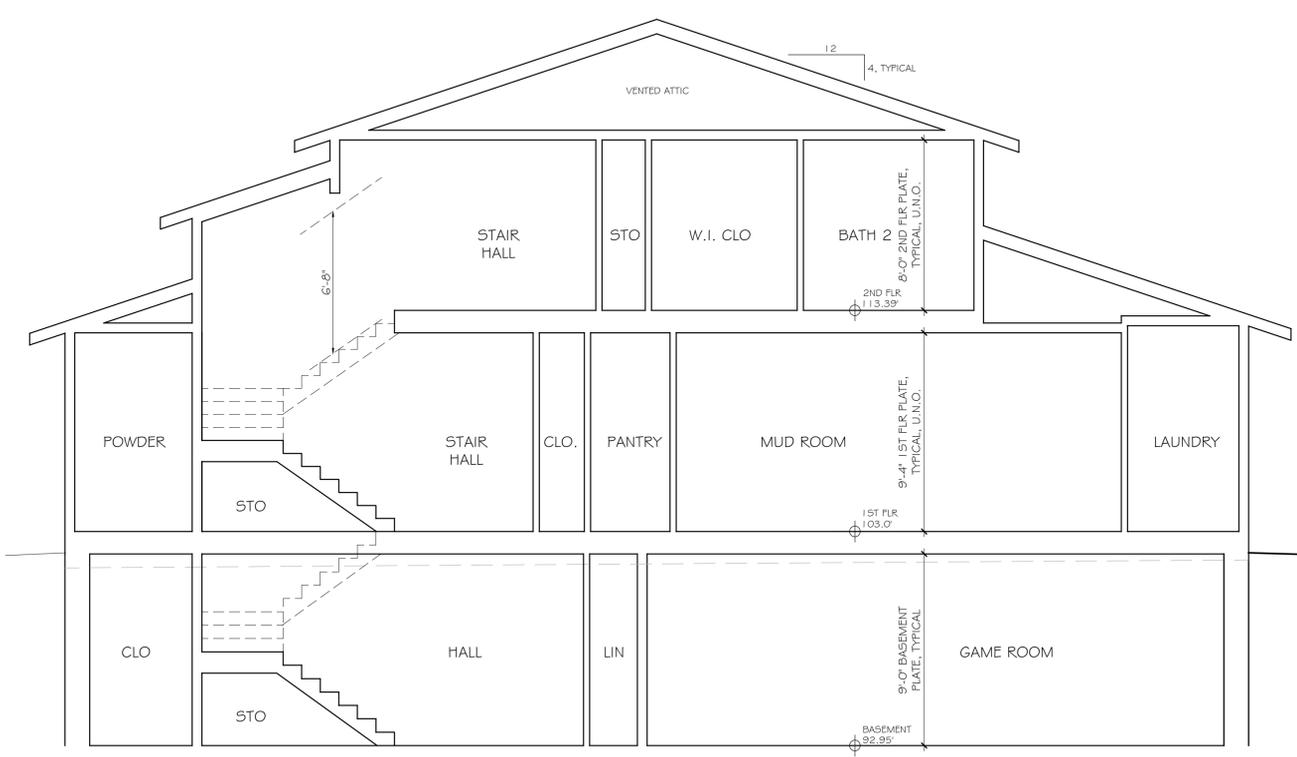
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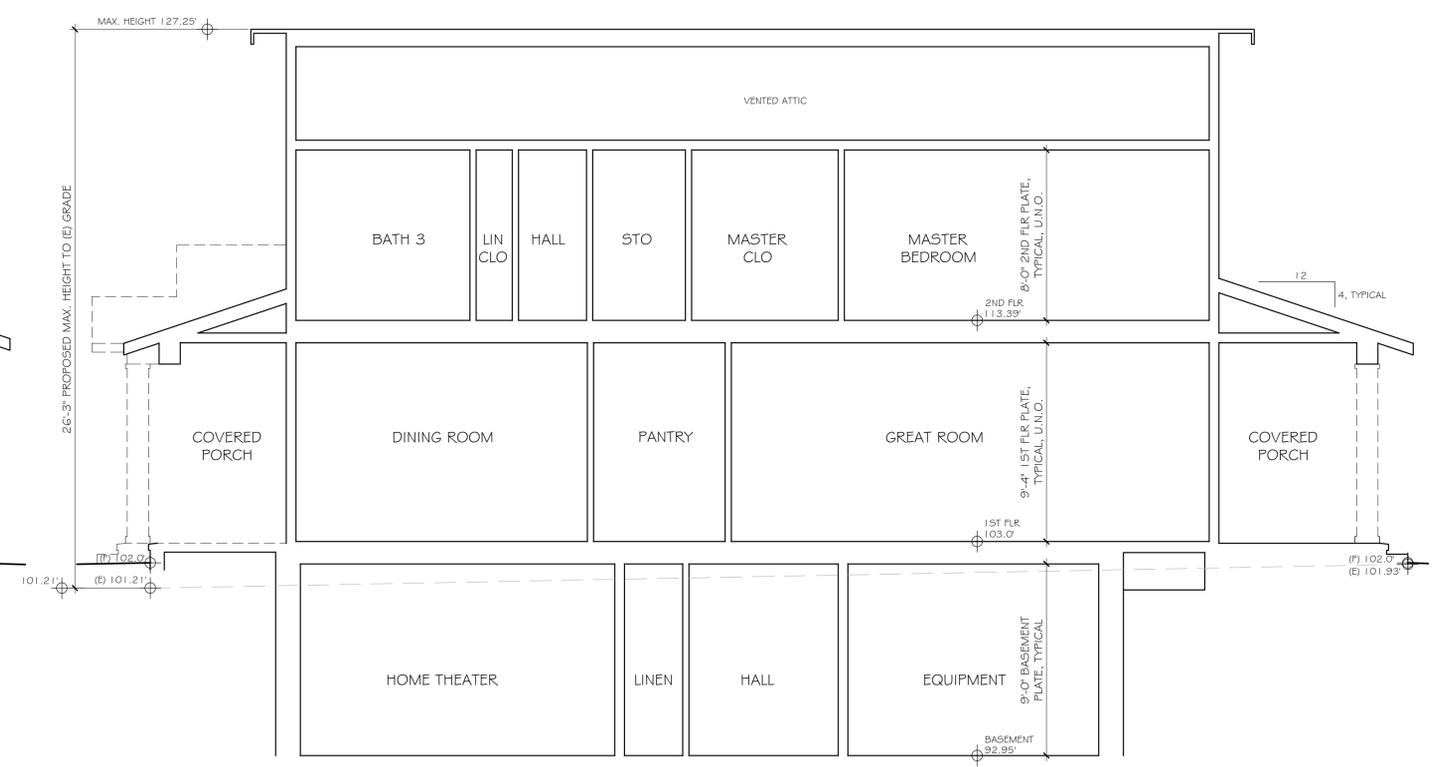
SECTION A-A

1/4" = 1'-0"



SECTION C-C

1/4" = 1'-0"



SECTION B-B

1/4" = 1'-0"

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JOB:	HSIEH
SHEET	

GRADING AND DRAINAGE CONSTRUCTION NOTES:

- 1 ROOF DOWNSPOUT APPROXIMATE LOCATIONS.
- 2 DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 8 FEET, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 3 4" SDR-26 SS. LAT. @ 2% MIN.
- 4 (N) WATER SERVICE LINE, (DESIGN BY OTHERS), CONNECT WATER SERVICE WITH METER PER CITY STANDARD REQUIREMENTS.
- 5 APPROXIMATE LOCATION OF JOINT TRENCH TRENCH INCLUDES: ALL GAS/ELECTRIC LINES, COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND. SEE TRENCH BACKFILL DETAIL ON C-2. FOR TRENCH PAVING, BACKFILL AND PIPING BEDDING SECTIONS IN THE CITY R/W, SEE CITY STD. DETAIL SU-19.
- 6 EARTH SWALE @ S=0.7%.
- 7 6" PVC (SDR-35) @ S=0.5% MIN.
- 8 (N) INFILTRATION DEVICE (CHRISTY V-24) WITHOUT BOTTOM.
- 9 INSTALL 4" SCHEDULE 40 PVC PERFORATED BACKDRAINS & UNDERSLAB DRAINS (W/ HOLES DOWN) - SLOPE 1% MIN. TO SUMP AT OUTSIDE OF BASEMENT. DO NOT CONNECT LIGHTWELL DRAINS OR DOWNSPOUTS TO BACKDRAINS OR UNDERSLAB DRAINS-SEE SOIL REPORT. DO NOT INTERCONNECT SUBDRAINS & LIGHTWELL DRAINS.
- 10 BASEMENT WALL- SEE STRUCTURAL PLANS.
- 11 STORM DRAIN CLEANOUT.
- 12 4" PVC (SDR-35) @ S=1% MIN.
- 13 (1)~ 2" PVC PUMP OUTLET (PRESSURIZED) MIN. 6" GROUND COVER ON TOP OF PIPE PROVIDE 3" STEEL PIPE PROTECTIVE SLEEVE UNDER PAVED AREAS
- 14 PROVIDE CHRISTY BOX AND INSTALL 2" SUMP PUMP W/PIPING TO INFILTRATION DEVICE. PROVIDE BACKFLOW PREVENTION DEVICE ON DISCHARGE LINE. BACKUP POWER IS RECOMMENDED. DO NOT INTERCONNECT SUBDRAINS & LIGHTWELL DRAINS.
- 15 36" HDPE PIPE OR EQUAL WITH COVER PROVIDE DEDICATED SUB DRAINAGE SUMP WITH PUMP. PUMP TO DISCHARGE AT INFILTRATION DEVICE. PROVIDE BACKFLOW PREVENTION DEVICE ON DISCHARGE LINE. BACKUP POWER IS RECOMMENDED.
- 16 INSTALL (N) "ATMOSPHERIC & LISTED ACCESSIBLE BACK FLOW WATER VALVE".

GENERAL NOTES

1. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
2. EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
3. ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
4. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT "USA" CENTER AT 800/642-2444, A TOLL-FREE NUMBER, 48 HOURS IN ADVANCE OF ANY EXCAVATION ACTIVITY SO ALL UNDERGROUND FACILITIES CAN BE LOCATED AND MARKED.
5. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY OR THE ENGINEER.
6. IT SHALL BE THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO COORDINATE THEIR WORK SO AS TO ELIMINATE CONFLICTS AND TO INSURE COMPLETION OF THE ENTIRE PROJECT WITHIN THE SPECIFIED PERIOD.
7. THE CONTRACTOR SHALL MAINTAIN THE STREET, SIDEWALKS AND ALL OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

UNDERGROUND NOTES

1. CONTRACTORS SHALL EXPOSE AND VERIFY PIPE MATERIAL, LINE SIZE, LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING SANITARY SEWERS, STORM DRAINS, AND WATER LINES AT ALL TIE-INS AND CROSSINGS PRIOR TO CONSTRUCTING NEW FACILITIES.
2. UNLESS OTHERWISE NOTED, ALL STORM DRAINS, SANITARY SEWERS, MANHOLES AND INLETS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE COUNTY OF SAN MATEO STANDARD SPECIFICATIONS AND STANDARD PLAN DETAILS AS DESIGNATED AND TO DETAILS AS SHOWN ON THE PLAN.
3. ALL TRENCH EXCAVATION, BACKFILL AND BEDDING FOR STORM DRAINS AND SANITARY SEWERS SHALL CONFORM TO THE COUNTY OF SAN MATEO STANDARD SPECIFICATIONS, AND DETAILS.
4. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
5. ALL GAS, ELECTRICAL, TELEPHONE AND CABLE T.V. UTILITIES, WILL BE DESIGNED AND CONSTRUCTED BY OTHERS UNDER SEPARATE CONTRACTS AND PLANS.

EARTHWORK QUANTITY (APPROXIMATE)

LOCATION	CUT (CY)	AVG. DEPTH (FT)	FILL (CY)	AVG. DEPTH (FT)
OUTSIDE BUILDING FOOTPRINT (NOT INCLUDING DRIVEWAY (STRUCTURAL SECTION))	10	1.5	10	0.5
WITHIN BUILDING FOOTPRINT INCLUDING BASEMENT	1000	11	0	0
TOTAL	1010		10	
EXPORT ALL EXCESS	(1000± CY)			

DRAINAGE NOTE

- | | | |
|---------------------------------|-------------------------------------|----------------------------------|
| 1A AD
RIM 92.3±
INV 91.1± | 1RIM AD
RIM 101.2±
INV 100.2± | 5 AD
RIM 101.8±
INV 100.8± |
| 1B AD
RIM 92.3±
INV 91.3± | 2 AD
RIM 101.8±
INV 100.0± | 6 AD
RIM 101.2±
INV 100.0± |
| 1C AD
RIM 92.3±
INV 90.0± | 3 AD
RIM 101.9±
INV 100.8± | 7 AD
RIM 101.2±
INV 100.0± |
| | 4 AD
RIM 101.9±
INV 100.5± | |

LEGEND:

- ⊙ AREA DRAIN (CHRISTY BOX V-1) OR EQUAL
- ▣ CATCH BASIN (CHRISTY BOX V-24) OR EQUAL
- ▣ AT DRIVEWAY AREA INSTALL CATCH BASIN (CHRISTY BOX V-12) OR EQUAL TRAFFIC RATED

GENERAL NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
- B. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- C. WATER AND GAS NEED TO MAINTAIN A 3' SEPARATION.
- D. THE SIZE OF THE WATER SERVICE WILL BE DETERMINED BY THE FIRE SPRINKLER CONTRACTOR. ALSO, THE ACTUAL ROUTE OF GAS AND ELECTRIC LINES WILL BE DICTATED BY PG&E.

TREE NOTE:

ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. IT SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED. TYPICAL AS NOTED.

ABBREVIATION

AD	AREA DRAIN	PROPERTY LINE	---
CO	CLEANOUT	CENTERLINE	---
(E)	EXISTING	FOOTING DRAIN LINE	---
FG	FINISH GRADE	STORM DRAIN LINE	---
FL	FLOW LINE	DRAINAGE FLOW	→
FS	FINISH SLAB	REMOVE TREE	✕
INV	INVERT		
(N)	NEW		
SS	SANITARY SEWER		
SSCO	SANITARY SEWER CLEANOUT		
RDS	ROOF DOWNSPOUT		
CB	CATCH BASIN		

SHEET INDEX

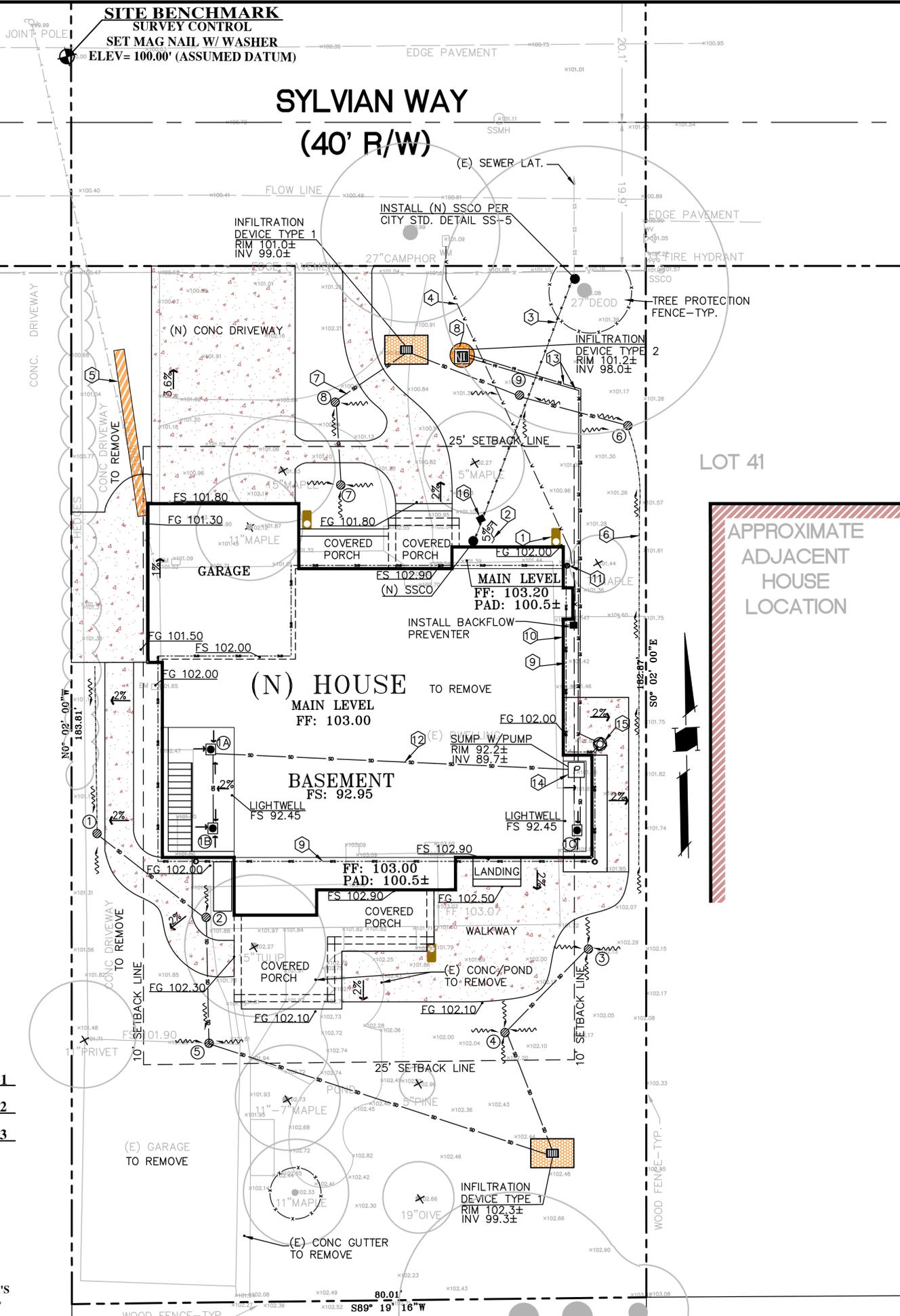
GRADING AND DRAINAGE PLAN	C-1
MISC. DETAILS	C-2
EROSION CONTROL PLAN	C-3

NOTE:

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE CITY OF LOS ALTOS PUBLIC WORKS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

EARTH WORK NOTE:

THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.



NJR ENGINEERING
CIVIL ENGINEERS
535 WEYBRIDGE DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 348-7813

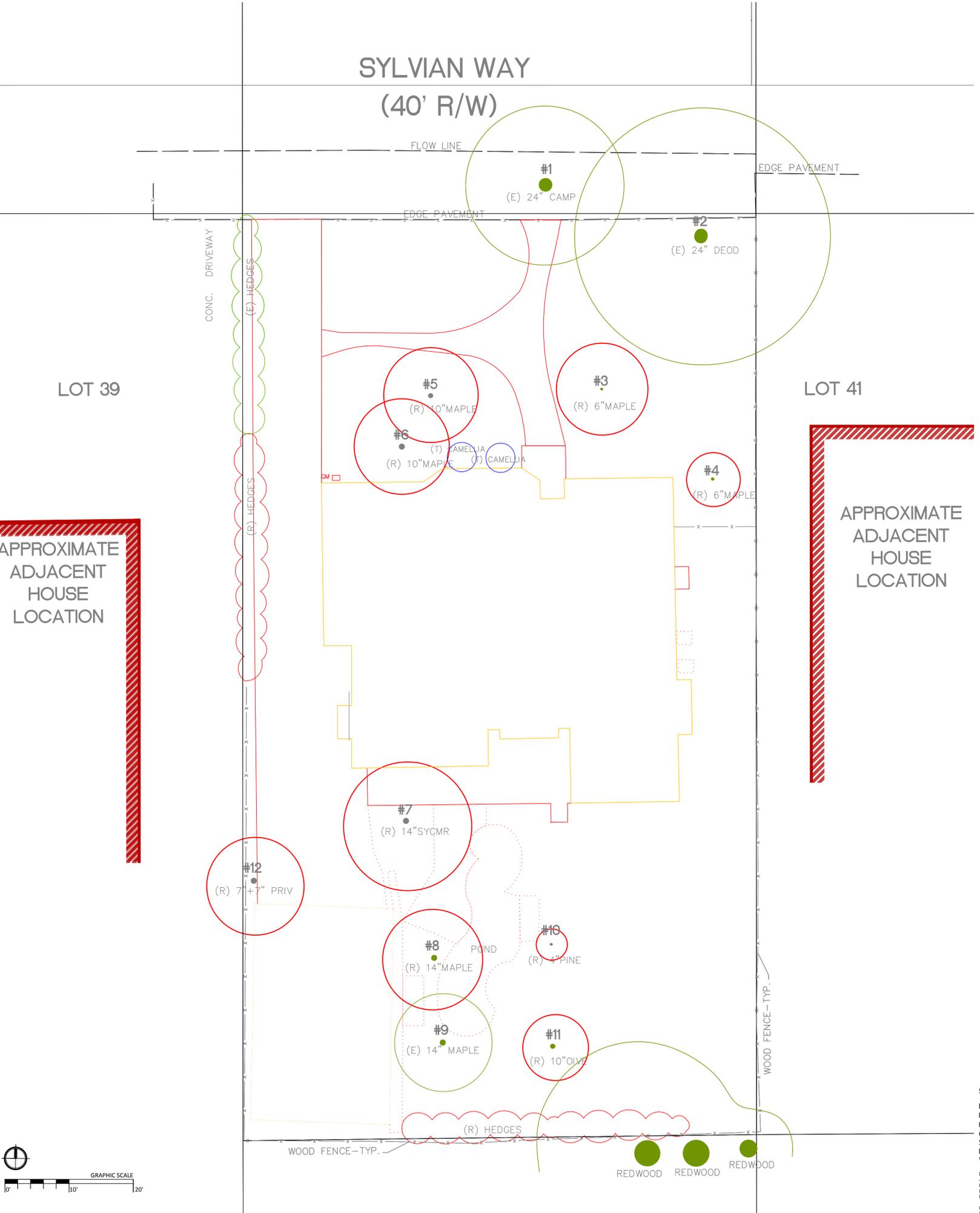
PROPOSED DEVELOPMENT
66 SYLVIAN WAY
LOS ALTOS, CA.
A.P.N. 167-29-040

GRADING AND DRAINAGE PLAN

REVISIONS	DATE

JOB NO:
DATE: 2-15-2016
SCALE: 1" = 8'
DRAWN BY: NR
SHEET NO:
C-1
OF 3 SHEETS

SYLVIAN WAY (40' R/W)



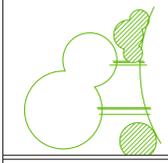
EXISTING TREE CHART

TREE NUMBER	COMMON NAME	BOTANICAL NAME	DIAM	LOCATION	REMOVE / STAY	CITY REQUIRE REPLACEMENT	SIZE	LOCATION
1	CAMPHOR	CINNAMOMUM CAMPHORA	24"	FRONT YARD	STAY			
2	DEODAR	CEDRUS DEODARA	24"	FRONT YARD	STAY			
3	MAPLE	ACER SP.	6"	FRONT YARD	REMOVE	LAGERSTROEMIA	15gal	FRONT YARD
4	MAPLE	ACER SP.	6"	FRONT YARD	REMOVE	LAGERSTROEMIA	15gal	FRONT YARD
5	MAPLE	ACER SP.	10"	FRONT YARD	REMOVE	LAGERSTROEMIA	15gal	FRONT YARD
6	MAPLE	ACER SP.	10"	FRONT YARD	REMOVE	TRISTANIA CONFERTA	15gal	BACK YARD
7	SYCAMORE	PLATANUS RACEMOSA	14"	BACK YARD	REMOVE	TRISTANIA CONFERTA	15gal	BACK YARD
8	MAPLE	ACER SP.	14"	BACK YARD	REMOVE	TRISTANIA CONFERTA	15gal	BACK YARD
9	MAPLE	ACER SP.	14"	BACK YARD	STAY			
10	PINE	PINUS SP.	4"	BACK YARD	REMOVE	PRUNUS CAROLINIANA	15gal	BACK YARD
11	OLIVE	OLEA EUROPAEA	10"	BACK YARD	REMOVE	TRISTANIA CONFERTA	15gal	BACK YARD
12	PRIVET	LIGUSTRUM SP.	7"/7"	BACK YARD	REMOVE	PRUNUS CAROLINIANA	15gal	BACK YARD

APPROXIMATE
ADJACENT
HOUSE
LOCATION

APPROXIMATE
ADJACENT
HOUSE
LOCATION

HSIEH & LIN RESIDENCE CONCEPT PLAN - EXISTING SITUATION



JOB LOCATION:
 66 Sylvian Way,
 Los Altos, CA

SHEET CONTENTS:
 GROUNDPLAN
 scale 1/8" = 1'-0"

DESIGNED BY:
 Zuzana Hranova

DATE:
 12-19-2015

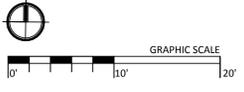
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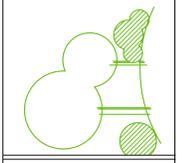
PAPER NUMBER:
15-024 L1

REVISIONS	BY
2/5/2016	ZH
2/14/2016	ZH
2/29/2016	ZH

- ABBREVIATION:**
- DS DOWNSPOUT
 - EL ELECTRIC SOURCE/PLUG
 - HB HOUSE BIB
 - GM GAS METER
 - S SEWER
 - LTR LIGHT TRANSFORMER
 - WM WATER METER
 - (E) EXISTING PLANT/MATERIAL
 - (N) NEW PLANT/MATERIAL
 - (R) REMOVE PLANT/MATERIAL
 - (T) TRANSPLANT PLANT/MATERIAL

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 IF QUANTITIES LISTED BELOW DIFFER FROM THOSE STATED OR IMPLIED BY PLAN, DEFER TO PLAN. IF A PLANT IS NOT AVAILABLE IN DESIRED SIZE OR ANY, CONSULT DESIGNER REGARDING QUANTITY OR SUBSTITUTE. A SOURCE, OR RECOMMENDATION TO WAIT. SOME PLANTS MAY BE SENSITIVE TO TEMPERATURE EXTREMES, SOME MAY BE POISONOUS, SOME MAY ATTRACT AND BE DAMAGED BY ANIMALS AND INSECTS, SOME PRODUCE LITTER AND/OR POLLEN, SOME HAVE THORNS AND/OR LARGE ROOT SYSTEMS.





JOB LOCATION:
66 Sylvian Way,
Los Altos, CA

SHEET CONTENTS:
GROUNDPLAN
scale 1/8" = 1'-0"

DESIGNED BY:
Zuzana Hranova

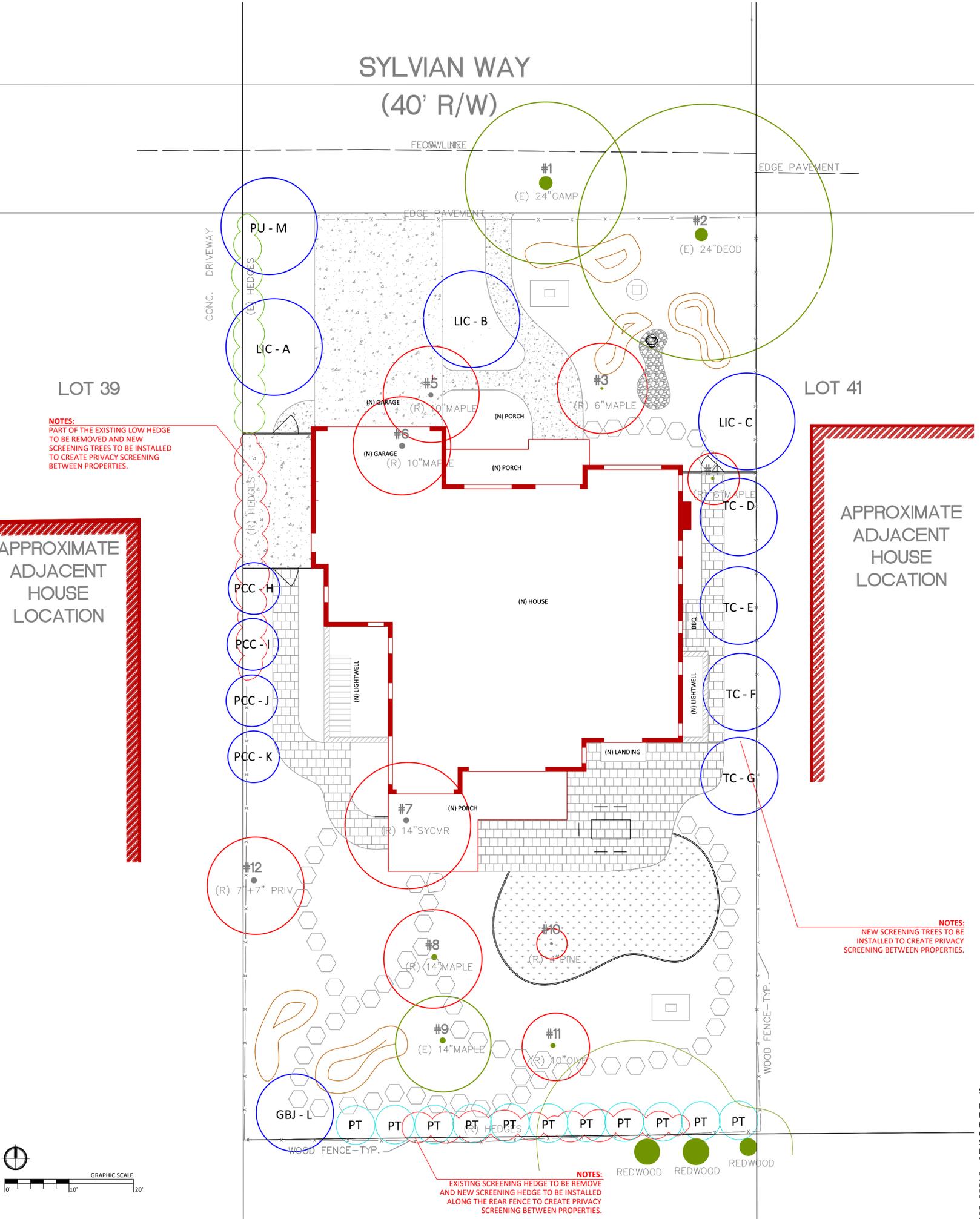
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PLAN NUMBER:
15-024 L1-A

REVISIONS	BY
2/5/2016	ZH
2/14/2016	ZH
2/29/2016	ZH

**SYLVIAN WAY
(40' R/W)**



NOTES:
PART OF THE EXISTING LOW HEDGE
TO BE REMOVED AND NEW
SCREENING TREES TO BE INSTALLED
TO CREATE PRIVACY SCREENING
BETWEEN PROPERTIES.

**APPROXIMATE
ADJACENT
HOUSE
LOCATION**

**APPROXIMATE
ADJACENT
HOUSE
LOCATION**

NOTES:
NEW SCREENING TREES TO BE
INSTALLED TO CREATE PRIVACY
SCREENING BETWEEN PROPERTIES.

NOTES:
EXISTING SCREENING HEDGE TO BE REMOVE
AND NEW SCREENING HEDGE TO BE INSTALLED
ALONG THE REAR FENCE TO CREATE PRIVACY
SCREENING BETWEEN PROPERTIES.

DESIGNED/PROPOSED TREE CHART

EXISTING TREE NUMBER	COMMON NAME	BOTANICAL NAME	DIAM	LOCATION	REMOVE / STAY	CITY REQUIRE REPLACEMENT / NEWLY DESIGNED TREE	SIZE	LOCATION	NEW TREE NUMBER / SYMBOL
1	CAMPBOR	CINNAMOMUM CAMPHORA	24"	FRONT YARD	STAY				
2	DEODAR	CEDRUS DEODARA	24"	FRONT YARD	STAY				
3	MAPLE	ACER SP.	6"	FRONT YARD	REMOVE	LAGERSTROEMIA	15gal	FRONT YARD	LIC - A
4	MAPLE	ACER SP.	6"	FRONT YARD	REMOVE	LAGERSTROEMIA	15gal	FRONT YARD	LIC - B
5	MAPLE	ACER SP.	10"	FRONT YARD	REMOVE	LAGERSTROEMIA	15gal	FRONT YARD	LIC - C
6	MAPLE	ACER SP.	10"	FRONT YARD	REMOVE	PITTOSPORUM	15gal	FRONT YARD	PU - M
7	SYCAMORE	PLATANUS RACEMOSA	14"	BACK YARD	REMOVE	TRISTANIA CONFERTA	15gal	BACK YARD	TC - D
8	MAPLE	ACER SP.	14"	BACK YARD	REMOVE	TRISTANIA CONFERTA	15gal	BACK YARD	TC - E
9	MAPLE	ACER SP.	14"	BACK YARD	STAY				
10	PINE	PINUS SP.	4"	BACK YARD	REMOVE	TRISTANIA CONFERTA	15gal	BACK YARD	TC - F
11	OLIVE	OLEA EUROPAEA	10"	BACK YARD	REMOVE	PRUNUS CAROLINIANA	15gal	BACK YARD	PCC - H
12	PRIVET	LIGUSTRUM SP.	7"/7"	BACK YARD	REMOVE	TRISTANIA CONFERTA	15gal	BACK YARD	TC - G
						PRUNUS CAROLINIANA	15gal	BACK YARD	PCC - I
						PRUNUS CAROLINIANA	15gal	BACK YARD	PCC - J
						PRUNUS CAROLINIANA	15gal	BACK YARD	PCC - K
						GINKGO BILOBA	15gal	BACK YARD	GBJ - L

TOTAL EXISTING TREES TO BE REMOVED	9
TOTAL EXISTING TREES TO STAY	3
TOTAL OF NEW TREES TO BE INSTALLED	13

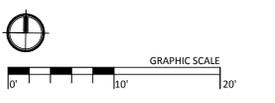
LANDSCAPE LEGEND

SYMBOL	NOTE
	EXISTING TREE
	TREE TO BE REMOVED
	NEWLY DESIGNED TREE

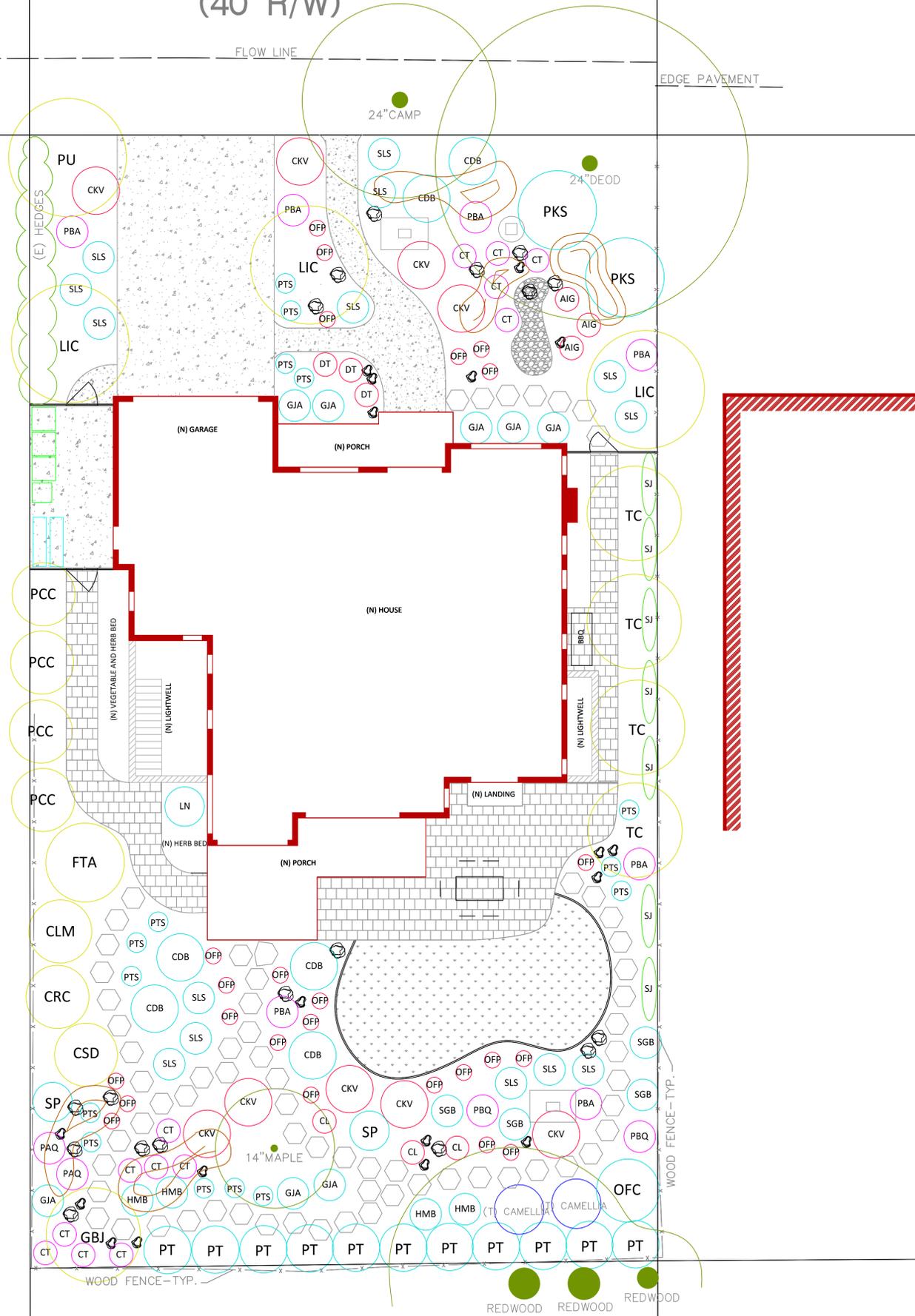
ABBREVIATION:

DS	DOWNSPOUT	(E)	EXISTING PLANT/MATERIAL
EL	ELECTRIC SOURCE/PLUG	(N)	NEW PLANT/MATERIAL
HB	HOUSE BIB	(R)	REMOVE PLANT/MATERIAL
GM	GAS METER	(T)	TRANSPLANT PLANT/MATERIAL
S	SEWER		
LTR	LIGHT TRANSFORMER		
WM	WATER METER		

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SYLVIAN WAY (40' R/W)



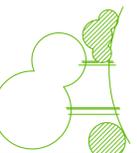
LANDSCAPE LEGEND

SYMBOL	QTY	SIZE	PLANT NAME (height x width)
TREES:			
CLM	1	15gal	<i>Citrus limon</i> 'Meyer Improved' - DWARF
CRC	1	15gal	DWARF IMPROVED MEYER LEMON (8'x8') evergreen, white fragrant flowers, edible
CSD	1	15gal	CLEMENTINE MANDARIN (maintain 10'x8') evergreen, white fragrant flowers - spring, edible
FTA	1	15gal	DWARF ORANGE (8'x8') evergreen, white fragrant flowers - edible, seedless
GBJ	1	15gal	Fruit Tree Apple 'Fuji'
GBJ	1	15gal	FUJI TREE APPLE (maintain size around 10' tall and wide) deciduous, edible
LIC	3	15gal	<i>Ginkgo biloba</i> 'Jade Butterfly'
PU	1	15gal	JADE BUTTERFLY MAIDENHAIR TREE (15'x12') deciduous, yellow fall color
PCC	4	15gal	<i>Lagerstroemia indica</i> 'Centennial Spirit' - STANDARD
TC	4	15gal	CENTENNIAL SPIRIT CRAPE MYRTLE (15'x15') deciduous, red flowers - summer
SHRUBS:			
CDB	6	1gal	<i>Pittosporum undulatum</i>
GJA	8	5gal	VICTORIAN BOX (15'x15', then slower to 30') evergreen tree
HMB	4	5gal	<i>Prunus caroliniana</i> 'Bright 'n Tight' - STANDARD
LN	1	5gal	CAROLINA LAUREL CHERRY (12'-16'x8') evergreen
OFC	1	5gal	<i>Tristania conferta</i> (Lophostemon c.)
PT	11	15gal	BRISBANE BOX (30'x maintain 12') evergreen
PTS	15	5gal	SHRUBS:
PKS	2	5gal	<i>Correa</i> 'Dusky Bells' ('Carmine Bells')
SLS	14	5gal	AUSTRALIAN FUCHSIA RED (3'x6') evergreen, pink flowers - winter to spring
SGB	4	5gal	<i>Gardenia jasminoides</i> 'August Beauty'
SP	2	5gal	AUGUST BEAUTY GARDENIA (4'x4') evergreen, white fragrant flowers - spring to fall
AIG	3	1gal	<i>Hydrangea macrophylla</i> 'Blue Heaven'
CKV	9	1gal	FOREVER & EVER BLUE HYDRANGEA (4'x4') deciduous, blue flowers - summer to fall
CL	3	1gal	<i>Laurus nobilis</i>
OFPP	24	1gal	SWEET BAY (maintain 4'x5') evergreen, fragrant flowers and leaves, leaves used for culinary
DT	3	1gal	<i>Osmanthus fragrans</i> 'Conger Yellow'
CT	13	1gal	CONGER YELLOW SWEET OLIVE (10'x8') evergreen, yellow flowers - spring and fall
PAQ	4	5gal	<i>Pittosporum tenuifolium</i> 'Silver Sheen'
PBA	7	5gal	SILVER SHEEN KOHUU (15'-20'x6') evergreen, maintain hedge
SJ	7	5gal	<i>Pittosporum tobira</i> 'Shima' ('Creme De Mint)
6	6	var.size	DWARF MOCK ORANGE (2.5'x2.5') evergreen, variegated leaves, white fragrant flowers - spring
17	17	bigger	<i>Pyracantha koidzumii</i> 'Santa Cruz' ('Santa Cruz Prostrata')
18	18	smaller	FIRETHORN (maintain 3'x10') evergreen, white flowers, red berries
5,587	5,587	sq.ft.	<i>Salvia leucantha</i> 'Santa Barbara'
51	51	cubic yards	SANTA BARBARA MEXICAN BUSH SAGE (3'x4') evergreen, purple flowers - spring to early winter
GROUNDCOVERS/PERENNIALS:			
6	6	var.size	<i>Salvia guaranitica</i> 'Black and Blue'
17	17	bigger	BLACK AND BLUE SAGE (3'x4') herbaceous, blue flowers - spring to fall
18	18	smaller	<i>Syringa x persica</i>
5,587	5,587	sq.ft.	PERSIAN LILAC (5'x5') deciduous, violet fragrant flowers - spring
51	51	cubic yards	GROUNDCOVERS/PERENNIALS:
6	6	var.size	<i>Agapanthus inapertus</i> 'Graskop'
17	17	bigger	GRASKOP LILY OF THE NILE (2'x3', flowers up to 4') evergreen, blue flowers - spring
18	18	smaller	<i>Coprosma x kirkii</i> 'Variegata'
5,587	5,587	sq.ft.	VARIEGATED COPROSMA (1'x6') evergreen, variegated leaves
51	51	cubic yards	<i>Crococsmia</i> 'Lucifer'
6	6	var.size	LUCIFER CROCOSMIA (3'x3') herbaceous, red flowers - spring, cutting flowers
17	17	bigger	<i>Osteospermum fruticosum</i> 'Purple'
18	18	smaller	PURPLE FREEWAY DAISY (1'x2') evergreen, purple flowers - all year round
5,587	5,587	sq.ft.	<i>Dianella tasmanica</i>
51	51	cubic yards	TASRED FLAX LILY (2'x3') evergreen, blue flowers - spring
ORNAMENTAL GRASSES:			
6	6	var.size	<i>Carex tumulicola</i> (C. divulsa)
17	17	bigger	BERKELEY SEDGE (1.5'x3') evergreen, mounding
18	18	smaller	<i>Phormium</i> 'Apricot Queen'
5,587	5,587	sq.ft.	APRICOT QUEEN NEW ZEALAND FLAX (3'x4') evergreen, green/yellow variegated leaves
51	51	cubic yards	<i>Phormium</i> 'Black Adder'
6	6	var.size	BLACK ADDER FLAX (4'x4') evergreen, burgundy leaves
17	17	bigger	VINES:
18	18	smaller	<i>Solanum jasminoides</i>
5,587	5,587	sq.ft.	POTATO VINE (install wire system on fence) evergreen, white fragrant flowers - spring and fall
51	51	cubic yards	OTHER MATERIALS:
6	6	var.size	MOUNDS - approximate location (need to accommodate the sump pumps location)
17	17	bigger	vary different height to maintain natural look
18	18	smaller	EXISTING BOULDER
5,587	5,587	sq.ft.	EXISTING BOULDER

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Contact Hano Design
(623-332-4287) with any
questions.

HANO DESIGN
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CA 94503
c.623-332-4287
Zuzana Hranova
Landscape Designer
c.623-332-4287

HSIEH & LIN RESIDENCE CONCEPT PLAN - LANDSCAPE PLAN



JOB LOCATION:
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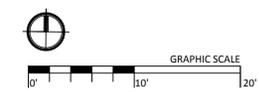
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PAPER SIZE:
36" x 24"

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