

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE LIMITED TO THE ORIGINAL USE AND PURPOSE FOR WHICH THEY WERE PREPARED AND NO OTHER USE, REPRODUCTION, OR PUBLICATION BY ANY MEANS IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE ACCEPTANCE OF THESE RESTRICTIONS SHALL BE EVIDENCE OF THE WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS	10/12/2012 PLAN CHECK REV.
	11/02/2012 PLANNING REVIEW

DRAWING TITLE	Title Sheet
JOB TITLE	Askari Guest House
JOB ADDRESS	4214 Manuela Avenue Palo Alto, California

DATE	AUGUST 27, 2013
SCALE	N.T.S.
PROJECT MANAGER	BDG
DRAWN	BDG
JOB NO.	1313
SHEET	T1

Drawing Index

- T1 Title Sheet/Site Plan
- A2 Floor Plan /Exterior Elevations
- A3 Cross Sections

Project Data

Address: 1198 Richardson Avenue
Los Altos, CA 94022
APN: 318-02-013
Zoning: R-1
Occupancy: R-3
Type of Construction: VB
Lot Size: 20,013 sq. ft.
Max. Lot Coverage: 7,004 sq. ft.
Max. FAR 2nd Unit: 800 sq. ft.
Proposed Floor Area:
Proposed Guest House 799.5 sq. ft.
Total Living Area 799.5 sq. ft.
Covered Terrace 312 sq. ft.
Covered Porch Area 24 sq. ft.
336 sq. ft.
Lot Coverage:
Proposed Lot Coverage 3405 sq. ft.
Maximum Lot Coverage Allowed 7004 sq. ft.
Floor Area:
Proposed Floor Area 2900.5 sq. ft.
Maximum Floor Area Allowed 4751 sq. ft.
Maximum Building Height: 12'-0"
Minimum Building Setbacks:
Minimum Side Yard Setback: 2'-6"
Minimum Rear Yard Setback: 7'-6"

Owner Data

Dan Askari
3897 El Camino Real
Palo Alto, California 94306
650-493-2682

Consultants

STRUCTURAL ENGINEER
Wesley Liu Engineering, Inc.
7246 Sharon Drive, Suite O
San Jose, CA 95129
(408) 973-1839

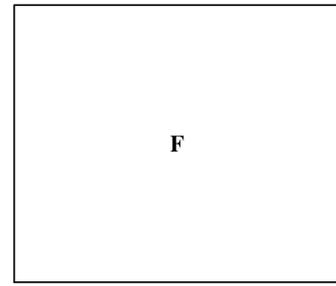
TITLE 24/GREENPOINT RATER
Yarmila Kennett & Associates
15231 Perry Lane
Morgan Hill, CA 95037
(408) 779-5402

Scope Of Work

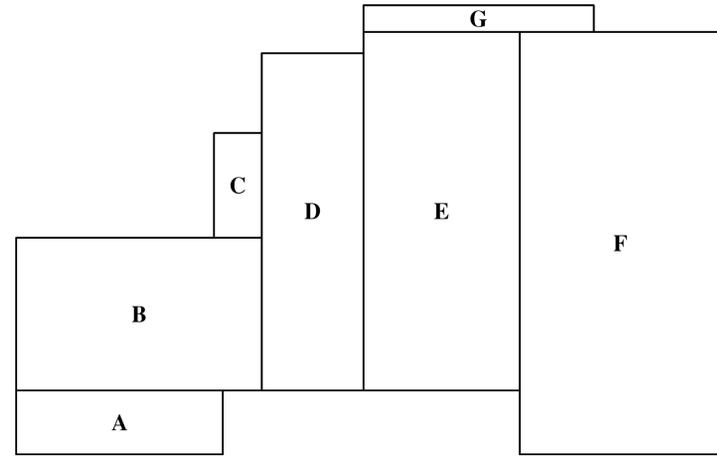
- Construct a 799.5 s.f. Guest House consisting of a kitchen, 2 bedrooms a bath and living room that exits to a covered terrace and porch.
- Install new electrical/ mechanical/ insulation/ composition roofing/ drywall/ windows/ exterior stucco/ plumbing and electrical fixtures as required for new work.

Floor Area/Lot Coverage Calculations

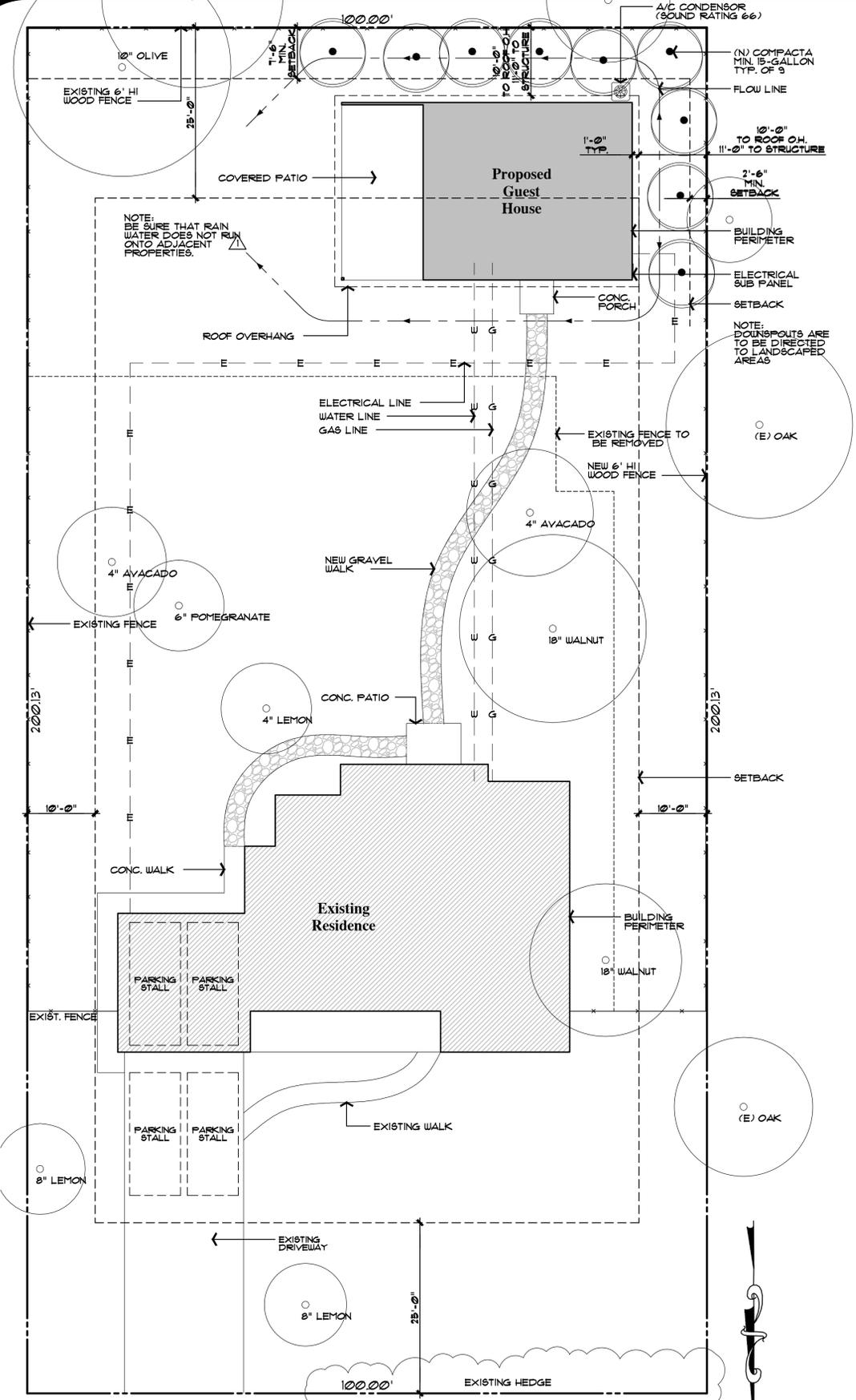
SECTION	AREA (SQ. FT.)
PROPOSED GUEST HOUSE	799.5
E (20'-9" x 26'-0")	799.5
TOTAL	799.5
EXISTING RESIDENCE	
A (19'-6" x 6'-0")	117
B (23'-2" x 14'-4")	332
C (4'-6" x 9'-10")	44
D (9'-1" x 31'-8")	303
E (14'-9" x 33'-8")	496
F (19'-0" x 39'-8")	754
G (21'-9" x 2'-6")	55
TOTAL	2,101
HARDSCAPE AREA	
EXISTING HARDSCAPE	1,126
PROPOSED HARDSCAPE	336
TOTAL	1,462



Proposed Guest House FAR



Existing Residence FAR

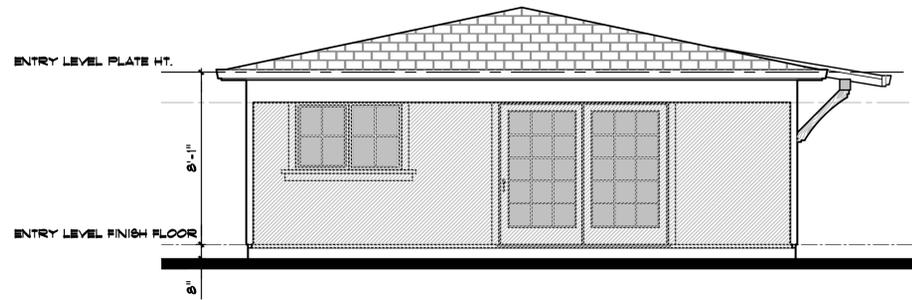


Richardson Avenue

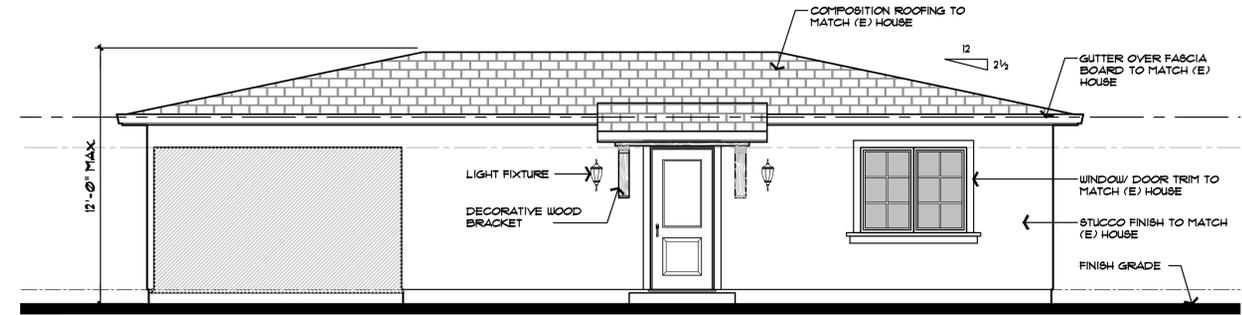
Site Plan

scale: 1" = 10'-0"

- GENERAL NOTES:
- VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
 - SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 5'-0" AWAY FROM STRUCTURE FOR DRAINAGE.



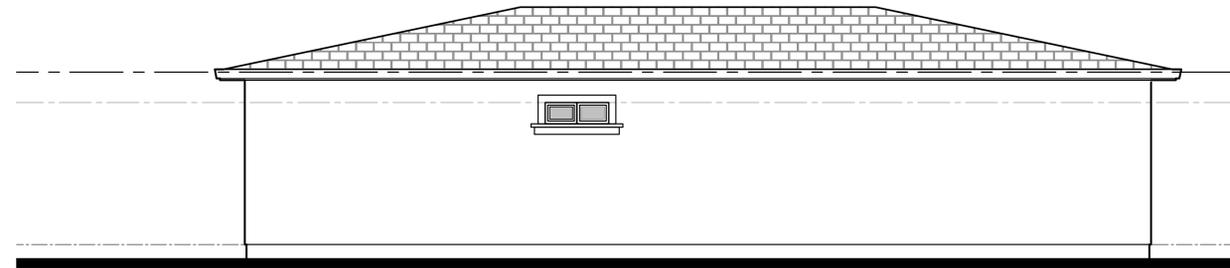
Left Elevation scale: 1/4"=1'-0"



Front Elevation scale: 1/4"=1'-0"



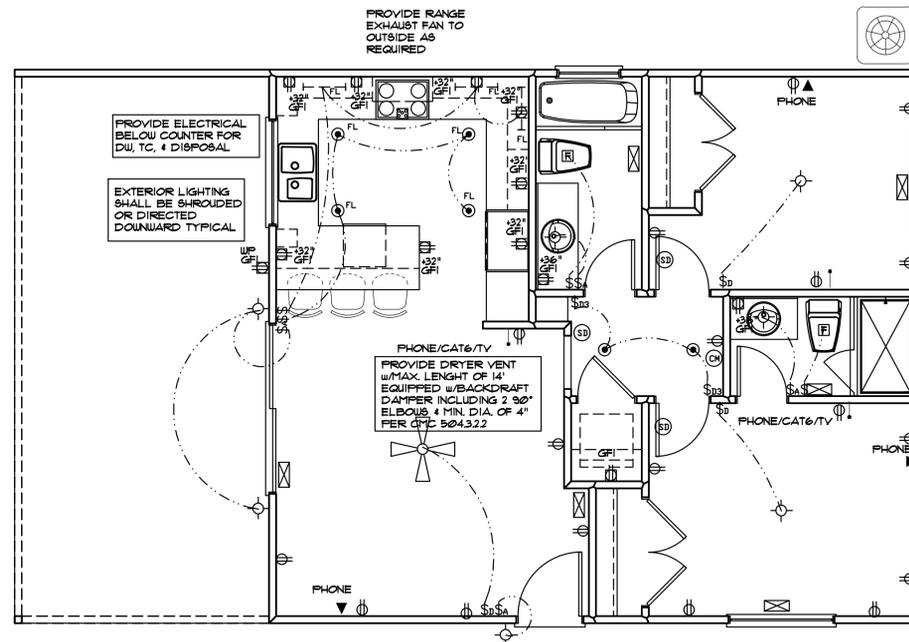
Right Elevation scale: 1/4"=1'-0"



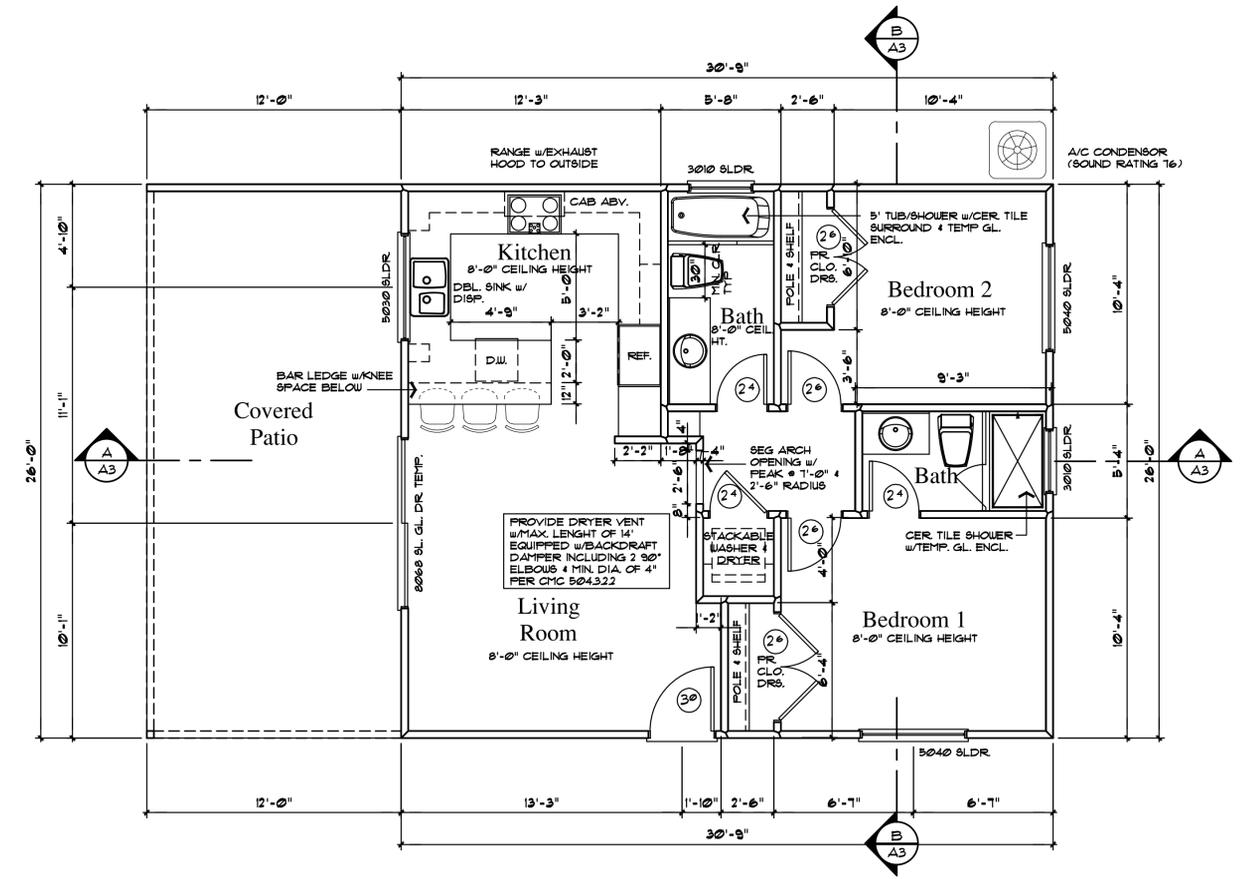
Rear Elevation scale: 1/4"=1'-0"

Fire Department Notes

- THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 2/3".
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN SLEEPING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.



Electrical/Mechanical Plan scale: 1/4"=1'-0"



Floor Plan
799.5 sq. ft. Living Area



349 FIRST STREET, SUITE A
LOS ALTOS, CALIFORNIA 94022
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REVISIONS	DATE	DESCRIPTION
1	12/12/2013	PLAN CHECK REV.
2	12/03/2013	PLANNING REVIEW

DRAWING TITLE	Floor Plans
JOB TITLE	Askari Guest House
JOB ADDRESS	4214 Manuela Avenue Palo Alto, California

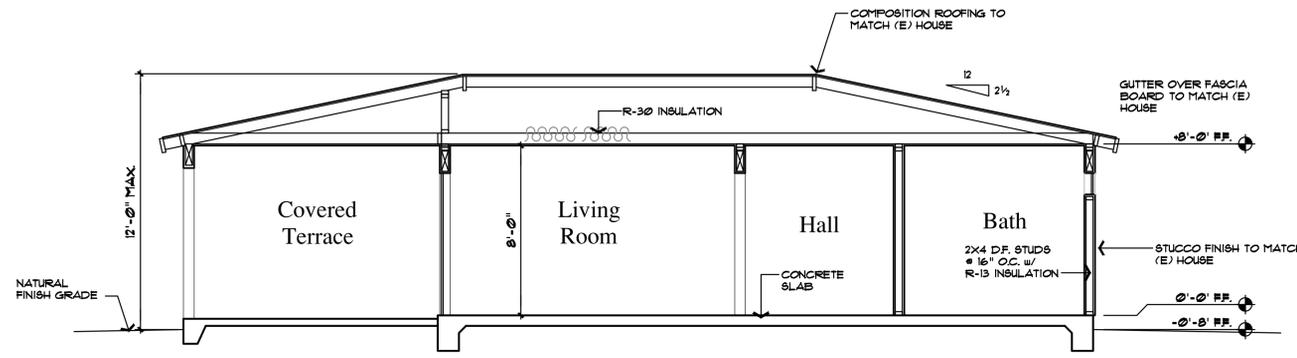
DATE	AUGUST 27, 2013
SCALE	1/4" = 1'-0"
PROJECT MANAGER	BDG
DRAWN	BDG
JOB NO.	1313
SHEET	

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REVISIONS	DATE	DESCRIPTION
1	10/17/2012	PLAN CHECK REV.
2	12/03/2015	PLANNING REVIEW

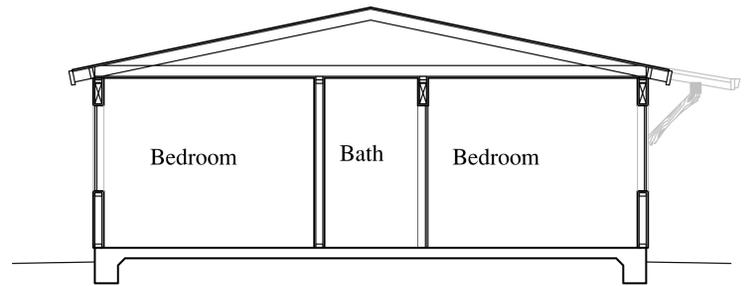
DRAWING TITLE	Cross Floor Plans
JOB TITLE	Askari Guest House
JOB ADDRESS	4214 Manuela Avenue Palo Alto, California

DATE	AUGUST 27, 2013
SCALE	Cross Sections
PROJECT MANAGER	SDG
DRAWN	SDG
JOB NO.	1313
SHEET	



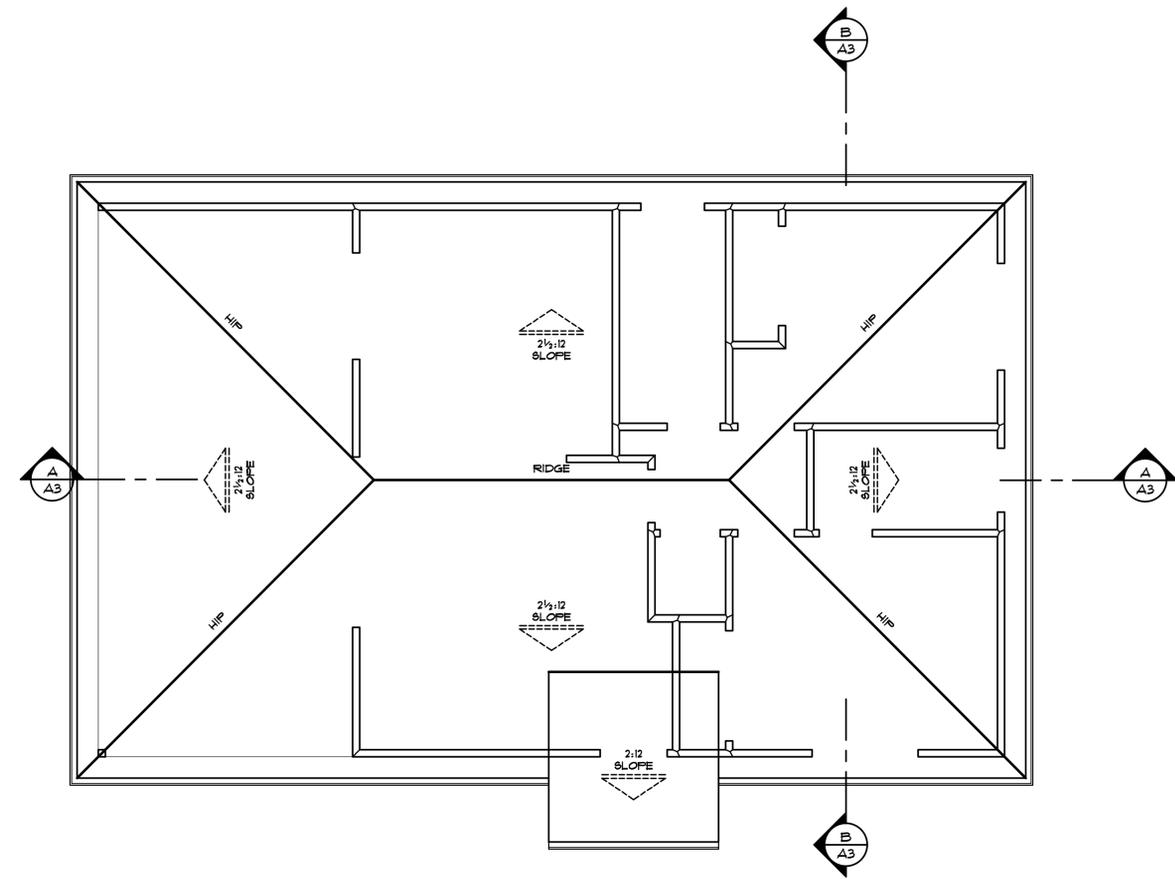
Section A

scale: 1/4"=1'-0"



Section B

scale: 1/4"=1'-0"



Roof Plan

scale: 1/4"=1'-0"

ROOF PLAN NOTES:
 SEE PLAN FOR ROOF SLOPE.
 ARROWS INDICATE DIRECTION OF ROOF SLOPE.
 OVERHANGS ARE TO BE 12" AT EAVE UNO.
 PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.B.C. TYPICAL
 INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
 INSTALL 5", 26 GAUGE FASCIA GUTTER W/ DOWNSPOUTS AS REQUIRED. PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL

ATTIC VENTILATION:
 1995 SF. OF ATTIC SPACE - 150 + 533 SF.
 533 SF. x 144 SQ. INCHES = 1615 SQ. INCHES REQ'D
 (PROVIDE (3) 3" DIA. HOLES • FREEZE BLK'G = 21 SQ. INCHES OF VENTING PER BLOCK)
 1615 SQ. INCHES REQ'D = 36.5 SQ. INCHES (PER BLK'G) • 31 BLOCKS REQ'D
 PROVIDE VENTING BLK'S • EVERY RAFTER BAY
 (NOTE: CONTINUOUS VENTING = 24 SQ. INCHES PER LINEAL FT.)