



349 FIRST STREET, SUITE A
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REVISIONS	ISSUE FOR PLANNING	08-14-15	08-14-15
	REVISION		
	REVISION		

DRAWING TITLE	Title Sheet
JOB TITLE	MacDonald Residence
JOB ADDRESS	1038 Mundell Court Los Altos, California 94022

DATE	Oct 30, 2015
SCALE	None
PROJECT MANAGER	e Stotler
DRAWN	606
JOB NO.	1503
SHEET	

T1

Los Altos, California 94022

New Single Family Residence

MacDonald Residence

1038 Mundell Court

Drawing Index

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- T1.2 Neighborhood Vicinity Map

CIVIL

- C-1 Grade & Drainage Plan

ARCHITECTURAL

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- A3 2nd Level Floor Plan
- A4 Exterior Elevations
- A5 Exterior Elevations
- A6 Cross Sections
- A7 Roof Plan
- A8 Pool House Floor & Roof Plan
- A9 Pool House Exterior Elevations & Cross Section

LANDSCAPE

- L1 Landscape Plan

Project Data - Los Altos

PROJECT ADDRESS:	1038 Mundell Court Los Altos, Ca 94022		
A P N:	167-14-072		
ZONE DISTRICT:	R1-10		
OCCUPANCY:	R3/U		
CONSTRUCTION TYPE:	VB		
NET LOT AREA:	19,602 S.F. (NET)		
LOT COVERAGE:	Existing 1709 s.f. 8.7%	Proposed 4727 s.f. 24.1%	Allowed/Required 5881 s.f. 30%
FLOOR AREA:	1ST FLOOR 0 s.f.	2996 s.f. 1710 s.f.	4710 s.f. (F.A.R.) 24.0%
	2ND FLOOR -1504 s.f.	4706 s.f. (F.A.R.) 24.0%	
	TOTAL 7.9%		
SETBACKS:	FRONT 25' 85'-9"	REAR 25' 58'-2"	LEFT 25' 20'
	RIGHT SIDE (1st/2nd) 24'-1"	RIGHT SIDE (1st/2nd) 10'-2"/19'-2"	RIGHT SIDE (1st/2nd) 10'/17'-6"
	LEFT SIDE (1st/2nd) 4'-0"	LEFT SIDE (1st/2nd) 10'-0"/21'-1"	LEFT SIDE (1st/2nd) 10'/17'-6"
HEIGHT:	0'	26'-8"	27'-0"
HABITABLE LIVING AREA:	Existing 1452 s.f.	Change in 2607 s.f.	Total Proposed 4059 s.f.
Non-HABITABLE LIVING AREA:	257 s.f.	389 s.f.	646 s.f.
NET LOT AREA:	19,602 s.f.		
Front Yard Hardscape Area:	1272 s.f.	45%	
LANDSCAPING BREAKDOWN:	Total Hardscape Area: 1074 s.f.		3896 s.f.
	Existing Softscape Area: 17,024 s.f.		
	New Softscape Area:		10,979 s.f.

SCOPE OF WORK:
 DEMO EXISTING RESIDENCE AND CONSTRUCT A NEW 2-STORY SINGLE FAMILY RESIDENCE WITH A 3-CAR GARAGE AND DETACHED POOL HOUSE

Basis of Design

- ALL WORK TO BE IN CONFORMANCE WITH:
 CALIFORNIA BUILDING CODE - 2013 EDITION,
 CALIFORNIA RESIDENTIAL CODE - 2013 EDITION,
 CALIFORNIA FIRE CODE - 2013 EDITION,
 CALIFORNIA PLUMBING CODE - 2013 EDITION,
 CALIFORNIA ELECTRICAL CODE - 2013 EDITION,
 CALIFORNIA MECHANICAL CODE - 2013 EDITION,
 CALIFORNIA ENERGY CODE - 2013 EDITION,
 CALIFORNIA GREEN BUILDING CODE - 2013 EDITION,
 AND ALL PERTINENT STATE AND LOCAL CODES AND ORDINANCES.

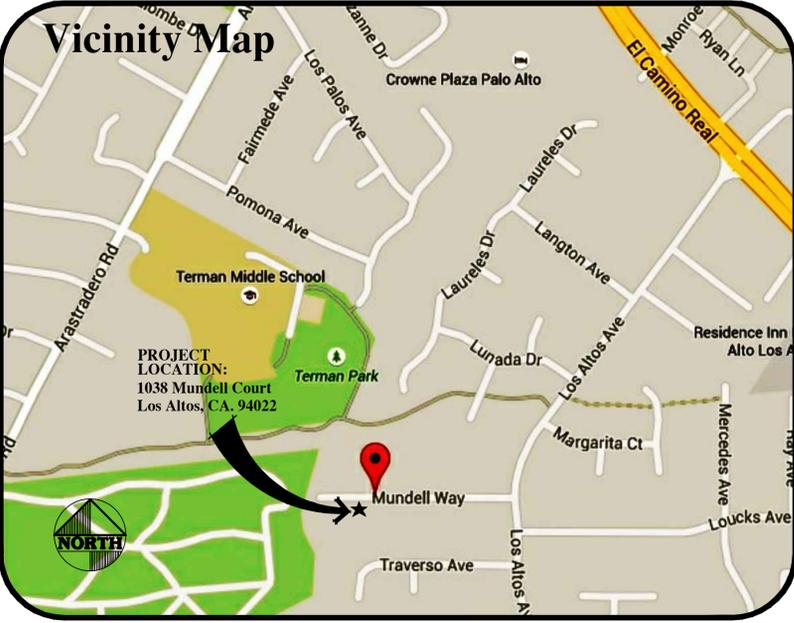
General Notes

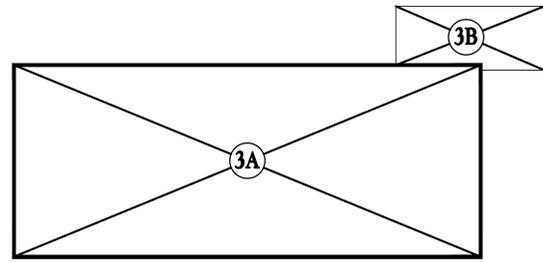
- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF STOTLER DESIGN GROUP PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- SLOPE ALL FINISH GRADES MIN. 4% 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE • LANDSCAPED AREAS 4 SLOPE GRADE 2% MIN. • PAVED AREAS
- SEPARATE PERMITS ARE REQUIRED FOR OCCUPANCY AND ALL FUTURE TENANT IMPROVEMENTS. SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL & PLUMBING WORK.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES, DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER. WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Consultants

CIVIL ENGINEER
 NNR Engineering
 535 Weybridge Drive
 San Jose, CA 95123
 (408) 348-7813

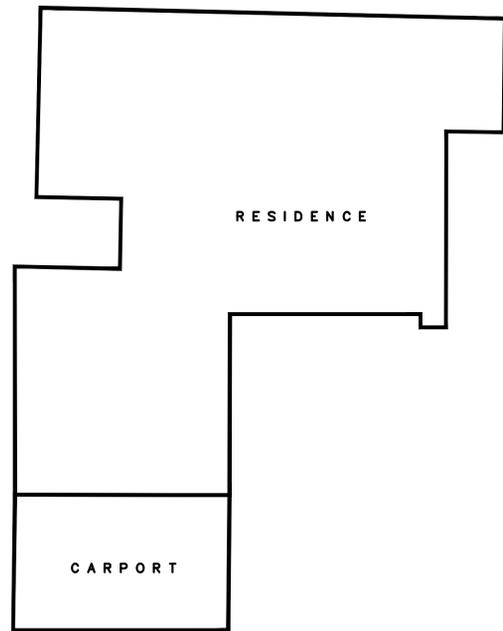
LANDSCAPE ARCHITECT
 Ken Schoppet Landscape Architect
 P.O. Box 508
 Los Altos, CA 94023-0508
 650-823-6572
 ken@ksla.us





Pool House Floor Plan

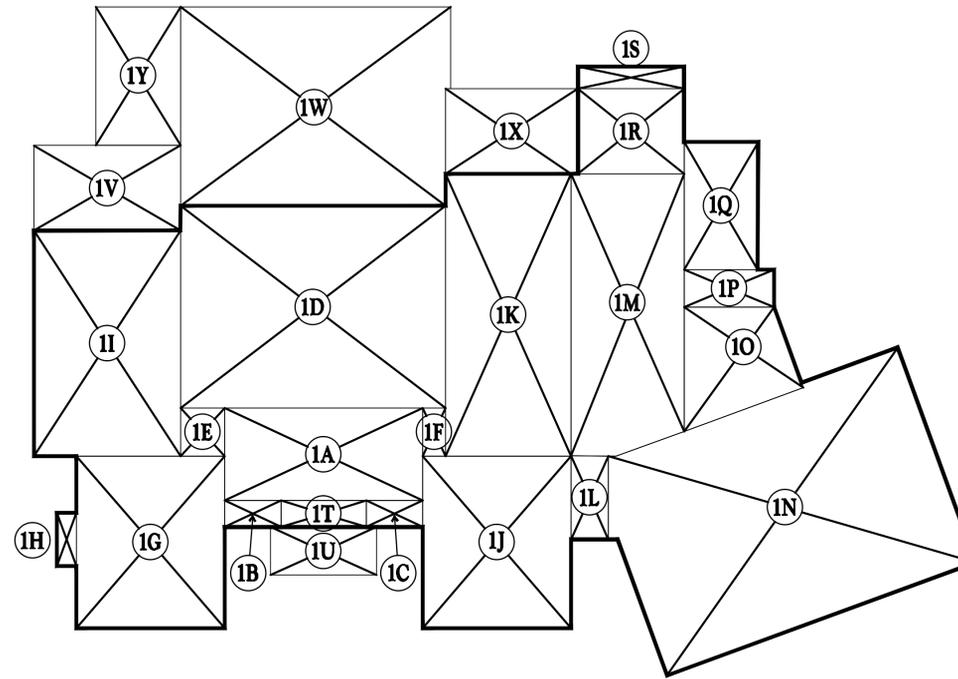
scale: 1/8"=1'-0"



EXISTING FAR = 1452 SQ.FT.
 EXISTING CARPORT = 257 SQ.FT.
 TOTAL COVERAGE = 1709 SQ.FT.

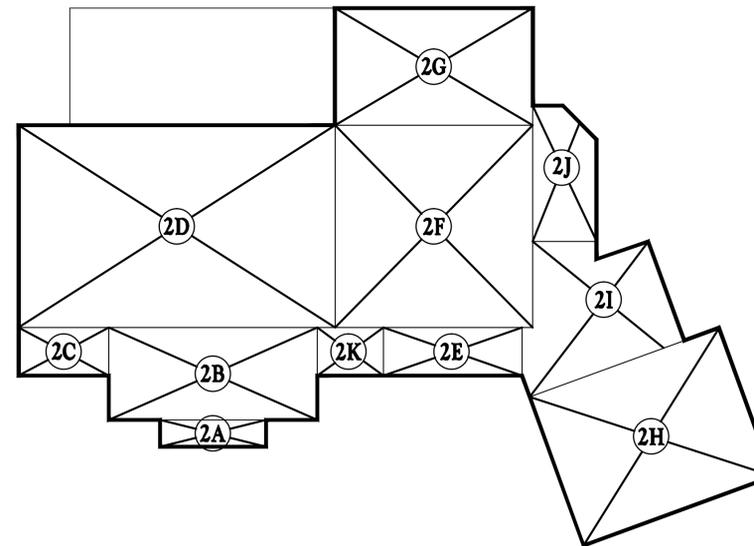
Existing House & Carport (To Be Demolished)

scale: 1/8"=1'-0"



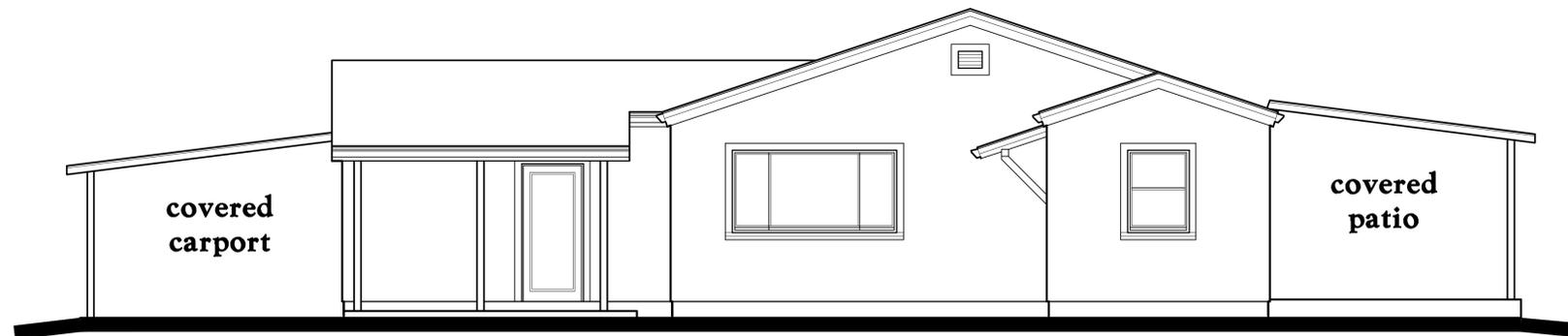
Entry Level Floor Plan

scale: 1/8"=1'-0"



2nd Level Floor Plan

scale: 1/8"=1'-0"



Existing House - Exterior Elevation (To Be Demolished)

scale: 1/4"=1'-0"

Floor Area and Coverage Calculations		
Section	Dimensions	Area (sf.ft.)
1st Level		
1A	18'-8" x 8'-8"	162
1B	5'-4" x 2'-6"	13
1C	5'-4" x 2'-6"	13
1D	25'-0" x 19'-0"	475
1E	4'-2" x 4'-6"	19
1F	2'-2" x 4'-6"	10
1G	14'-0" x 16'-2"	226
1H (Non-FAR - See Coverage)		
1I	13'-0" x 21'-2"	293
1J	14'-0" x 16'-2"	226
1K	11'-10" x 26'-6"	314
1L	3'-6" x 7'-10"	28
1M**	10'-8" x 26'-6"	270
1N**	31'-0" x 21'-6"	646
1O**	9'-10" x 9'-7"	86
1P	8'-6" x 3'-6"	30
1Q	7'-0" x 12'-0"	84
1R	10'-0" x 8'-0"	80
1S	10'-0" x 2'-1"	21
1T (Non-FAR - See Coverage)		
1st Level Sub-Total		2996
** Indicates irregular shape		
2nd Level		
2A (Non-FAR)		
2B (Non-FAR)	19'-8" x 8'-8"	0
2C	8'-6" x 4'-6"	38
2D	29'-10" x 19'-0"	567
2E	19'-4" x 4'-6"	59
2F	18'-8" x 19'-0"	355
2G	18'-8" x 11'-0"	205
2H	19'-0" x 14'-10"	282
2I**	12'-4" x 13'-10"	133
2J**	6'-0" x 11'-2"	71
2K (Non-FAR)		
2nd Level Sub-Total		1710
Total Floor Area		4,706
Allowed FAR		4,710
Lot Coverage Areas		
Sub total 1st level		2996
1H	1'-10" x 5'-0"	9
1T	8'-0" x 2'-6"	20
1U	10'-0" x 4'-6"	45
1V	13'-10" x 8'-0"	110
1W	25'-0" x 18'-0"	471
1X	12'-6" x 8'-0"	100
1Y	12'-6" x 8'-0"	104
Covered Terrace sub Total		859
3A - Pool House		44'-0" x 18'-0" = 792
3B - Pool Equip Pad		14'-0" x 6'-0" = 80
Total Lot Coverage		4,727
Allowed Coverage		5,881



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REVISIONS	DATE	BY	REASON
ISSUE FOR PLANNING	08-14-15		
REVISION#1 PLANNING	10-12-15		
REVISION#2 PLANNING	10-30-15		

DRAWING TITLE	Floor Area Diagram
JOB TITLE	MacDonald Residence
JOB ADDRESS	1038 Muncie Court, Los Altos, California 94022

DATE	Oct 30 2015
SCALE	As Noted
PROJECT MANAGER	Stotler
DRAWN	MAU
JOB NO.	1503
SHEET	

T1.1



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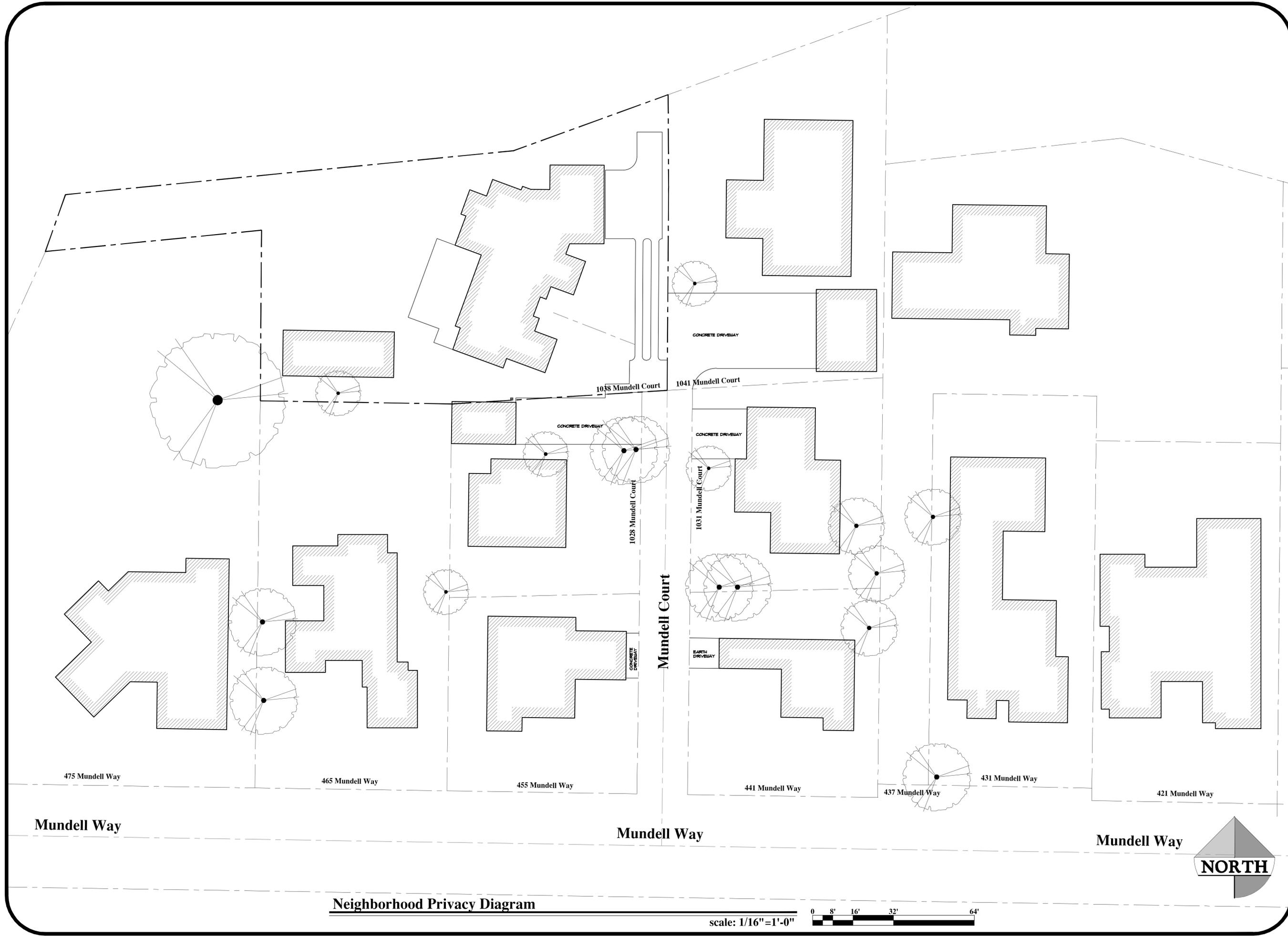
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REVISIONS	DATE
ISSUE FOR PLANNING	08-14-15
REVISION #1	10-12-15
REVISION #2	10-30-15

DRAWING TITLE	Neighborhood Vicinity Map
JOB TITLE	MacDonald Residence
JOB ADDRESS	1038 Mundell Court, Los Altos, California 94022

DATE	Oct 30 2015
SCALE	As Noted
PROJECT MANAGER	Stotler
DRAWN	MAU
JOB NO.	1503
SHEET	

T1.2



Neighborhood Privacy Diagram

scale: 1/16" = 1'-0"



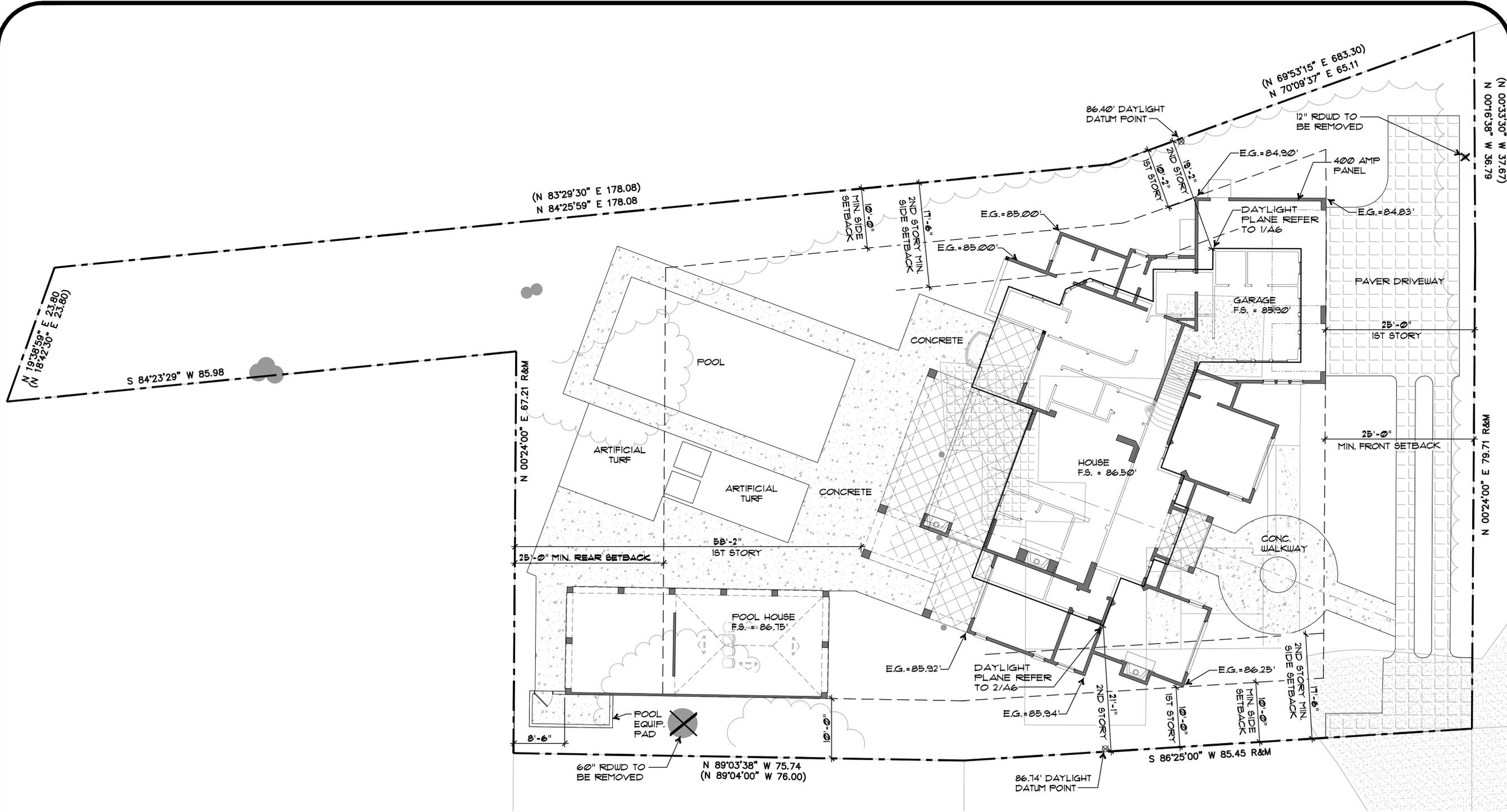
C:\Dropbox\Projects\2015\1503-MacDonald\1503-T1.2.dwg, 10/29/2015 10:24:19 PM

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REVISIONS	DATE	BY
ISSUE FOR PLANNING	08-14-15	
REVISION	10-12-15	
REVISION	10-30-15	

DRAWING TITLE	Site Plan
JOB TITLE	MacDonald Residence
JOB ADDRESS	1038 Mundell Court Los Altos, California 94022

DATE	Oct 30, 2015
SCALE	As Noted
PROJECT MANAGER	e Stotler
DRAWN	MAU
JOB NO.	1503
SHEET	



Site Plan

scale: 1/8"=1'-0"

GENERAL SITE PLAN NOTES:

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "WUI" ZONE (WILDLAND-URBAN INTERFACE) FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R321 (CALIFORNIA RESIDENTIAL CODE) & CBC CHAPTER 7A CALIFORNIA BUILDING CODE , REFER TO " WILDLAND-URBAN INTERFACE NOTES " ON SHEET TI.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

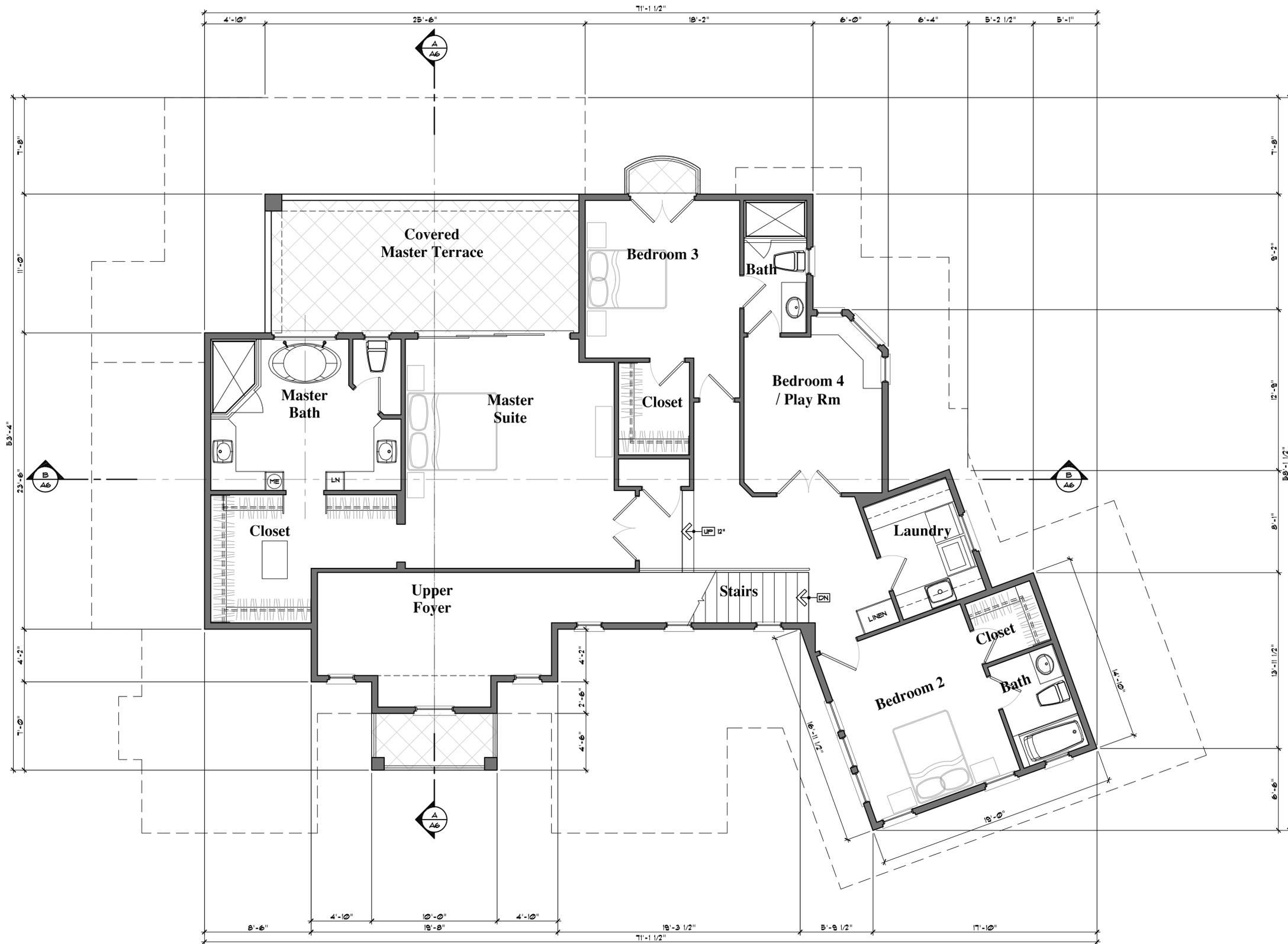
CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS & LOCATIONS OF EXISTING UTILITIES AND DIMENSIONS. * JOB SITE PRIOR TO BID, ORDERING OF MATERIALS AND CONSTRUCTION.

GRADES TO BE SLOPED A MINIMUM OF 2% AWAY FROM THE STRUCTURES FOR HORIZONTAL DISTANCE OF AT LEAST 10'-0".

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

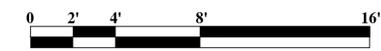
CONNECT ALL DOWNSPOUTS TO 3" SOLID DRAIN LINE AROUND PERIMETER OF HOUSE- DRAIN TO CURB, OR APPROVED DRAINAGE SYSTEM.

ALL CONCRETE "FLATWORK" (DRIVEWAY, WALKS, ETC.) SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE SOILS REPORT.



2nd Level Floor Plan

scale: 1/4"=1'-0"



349 FIRST STREET, SUITE A
 LOS ALTOS, CALIFORNIA 94022
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 E-MAIL: info@stotlerdesigngroup.com

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REVISIONS	ISSUE	DATE
ISSUE FOR PLANNING	08-14-15	
RESUBMIT PLANNING	10-12-15	
RESUBMIT PLANNING	10-30-15	

DRAWING TITLE	2nd Level Floor Plan
JOB TITLE	MacDonald Residence
JOB ADDRESS	1038 Mundell Court Los Altos, California 94022

DATE	Oct 30, 2015
SCALE	As Noted
PROJECT MANAGER	Stotler
DRAWN	MAU
JOB NO.	1503
SHEET	

A3

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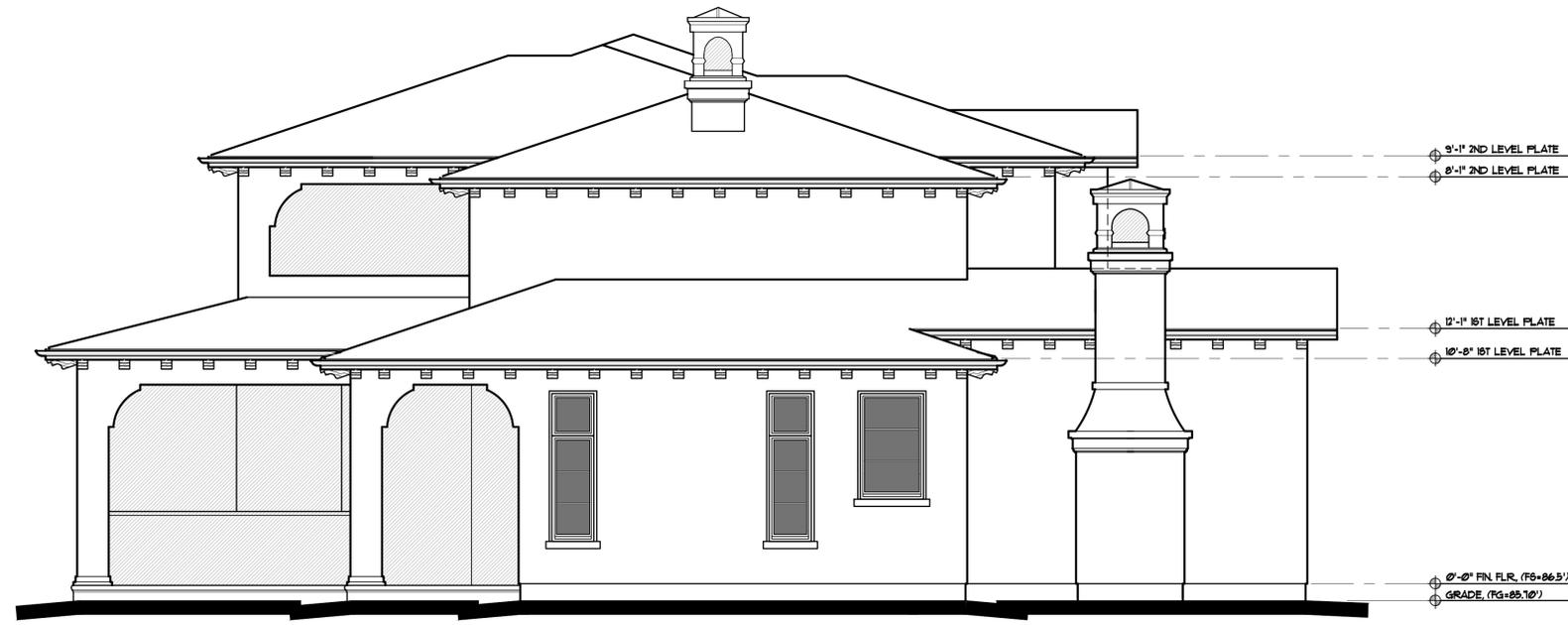
Rear - Exterior Elevation

scale: 1/4"=1'-0"



Right Side @ Garage - Exterior Elevation

scale: 1/4"=1'-0"



Left Side - Exterior Elevation

scale: 1/4"=1'-0"

REVISIONS	DATE	BY
ISSUE FOR PLANNING	08-14-15	
RESUBMIT PLANNING	10-12-15	
RESUBMIT PLANNING	10-30-15	

DRAWING TITLE	Exterior Elevations
JOB TITLE	MacDonald Residence
JOB ADDRESS	1038 Mundell Court Los Altos, California 94022

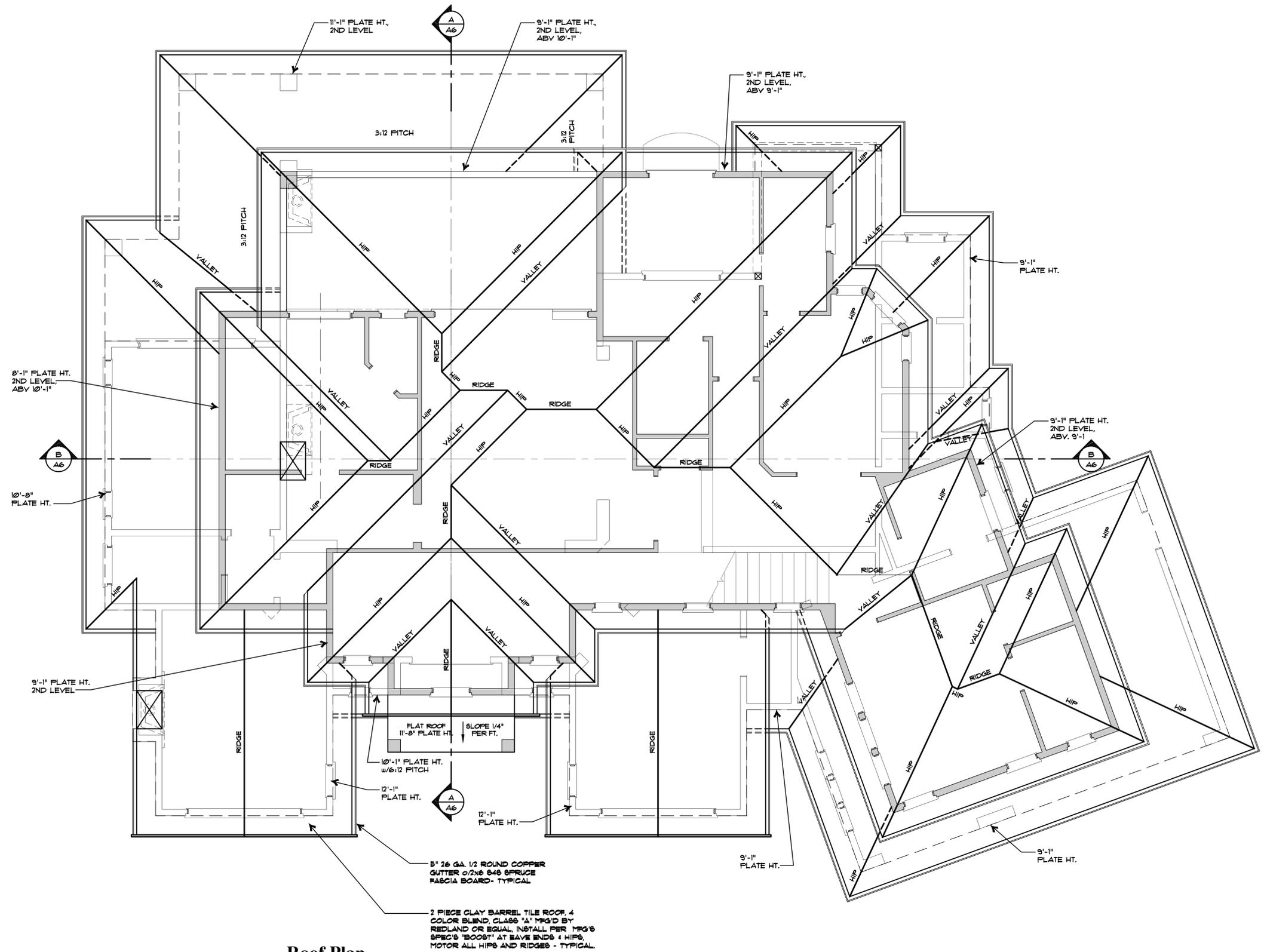
DATE	Oct 30, 2015
SCALE	As Noted
PROJECT MANAGER	e Stotler
DRAWN	MAU
JOB NO.	1503
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REVISIONS	DATE	BY
ISSUE FOR PLANNING	08-14-15	
RESUBMIT PLANNING	10-12-15	
RESUBMIT PLANNING	10-30-15	

DRAWING TITLE	Roof Plan
JOB TITLE	MacDonald Residence
JOB ADDRESS	1038 Mundell Court Los Altos, California 94022

DATE	Oct 30, 2015
SCALE	As Noted
PROJECT MANAGER	E. Stotler
DRAWN	MAU
JOB NO.	1503
SHEET	



Roof Plan

GENERAL ROOF PLAN NOTES:

ENTRY LEVEL PLATE HEIGHT TO BE 9'-1", UNO.
 2ND LEVEL PLATE HEIGHT TO BE 9'-1", UNO.
 ROOF SLOPE IS TO BE 4:12, UNO.
 OVERHANGS ARE TO BE 18" AT EAVES & 18" AT RAKES, UNO.
 ARROWS INDICATE DIRECTION OF ROOF SLOPE.
 PROVIDE THERMAL BARRIER PLYWOOD ROOF SHEATHING, TYP.

scale: 1/4"=1'-0"

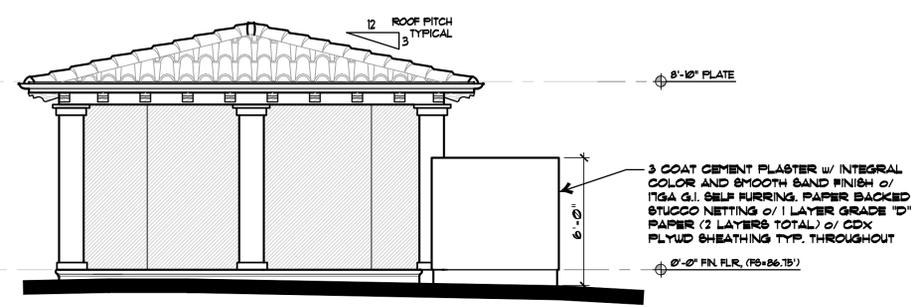


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REVISIONS	DATE	DESCRIPTION
ISSUE FOR PLANNING	08-14-15	
RESUBMIT PLANNING	10-12-15	
RESUBMIT PLANNING	10-30-15	

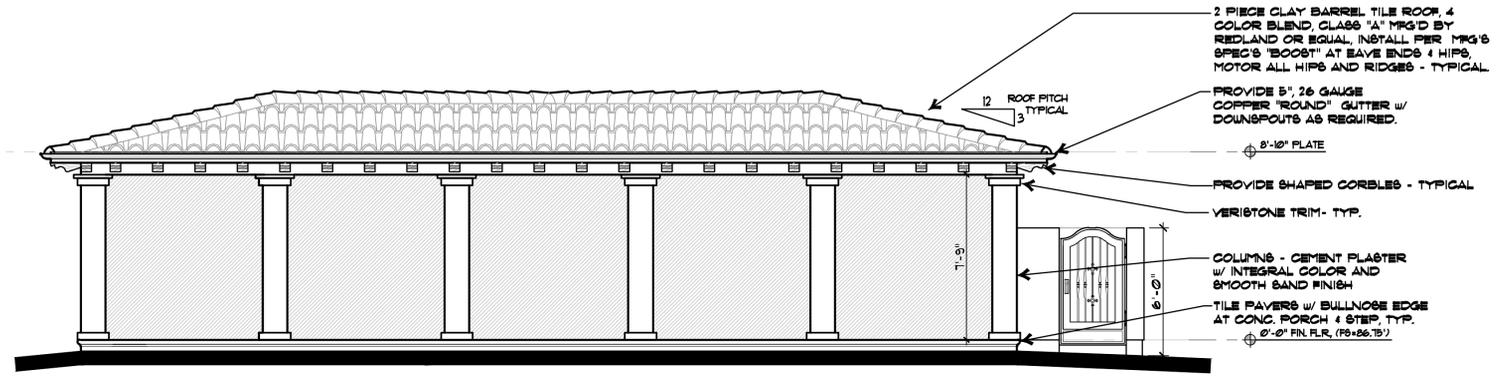
DRAWING TITLE	Pool House Exterior Elevations & Cross Sections
JOB TITLE	MacDonald Residence
JOB ADDRESS	1038 Mundell Court Los Altos, California 94022

DATE	Oct 30, 2015
SCALE	As Noted
PROJECT MANAGER	Stotler
DRAWN	MAU
JOB NO.	1503
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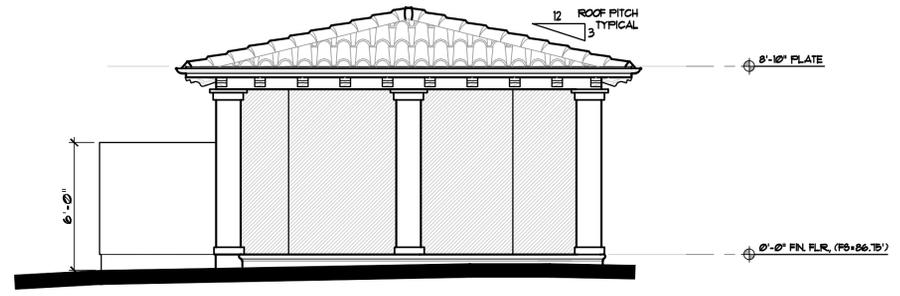
Exterior Elevation - Right Side

Scale: 1/4"=1'-0"



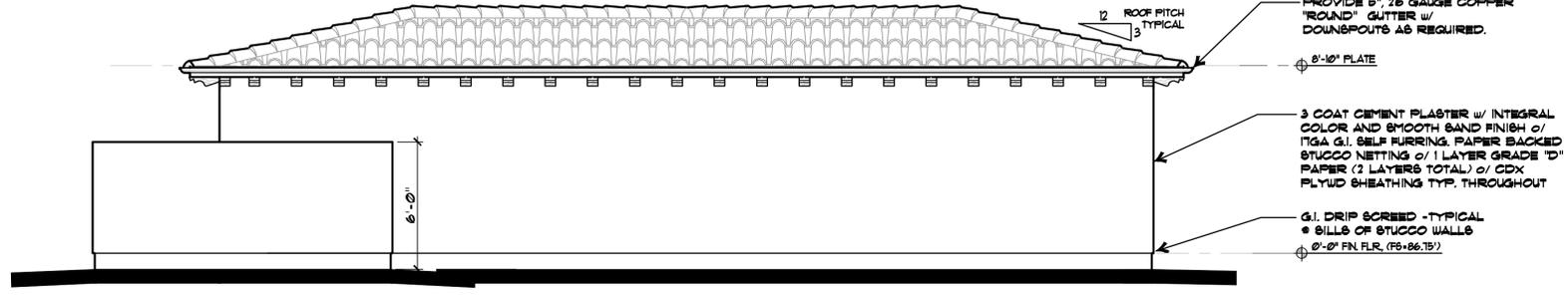
Exterior Elevation - Front

Scale: 1/4"=1'-0"



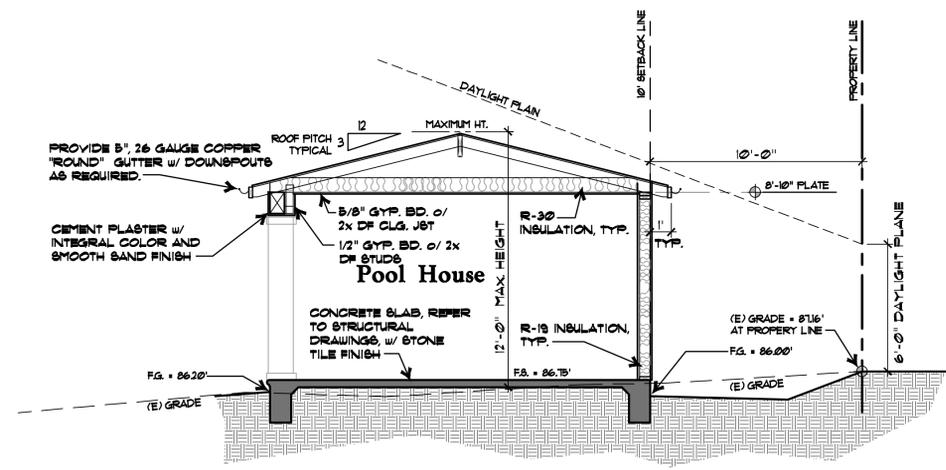
Exterior Elevation - Left Side

Scale: 1/4"=1'-0"



Exterior Elevation - Rear

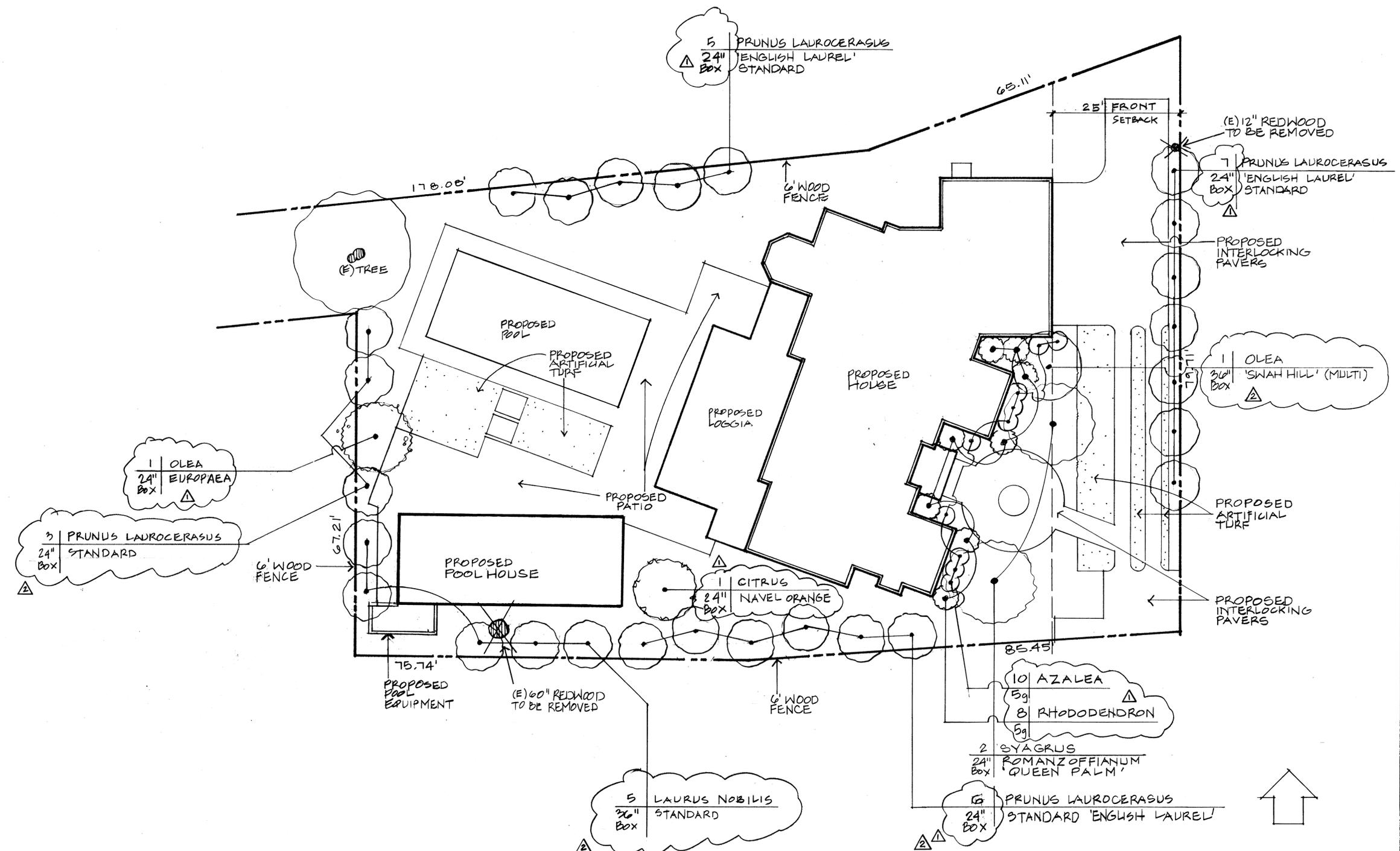
Scale: 1/4"=1'-0"



Cross Section - A

Scale: 1/4"=1'-0"

REVISIONS	BY
10-8-15	KS
10-28-15	KS



MacDONALD RESIDENCE
1038 MUNDEL COURT
LOS ALTOS, CA

LANDSCAPE PLAN

KEN SCHOPPET LANDSCAPE ARCHITECT
P.O. BOX 508, LOS ALTOS, CALIFORNIA 94023 0508
(650) 823-6572 LIC. NO. 3208 KEN@KSLA.US

DRAWN	KS
CHECKED	
DATE	8-12-15
SCALE	1" = 10'-0"
JOB NO.	
SHEET	
11	
OF	SHEETS