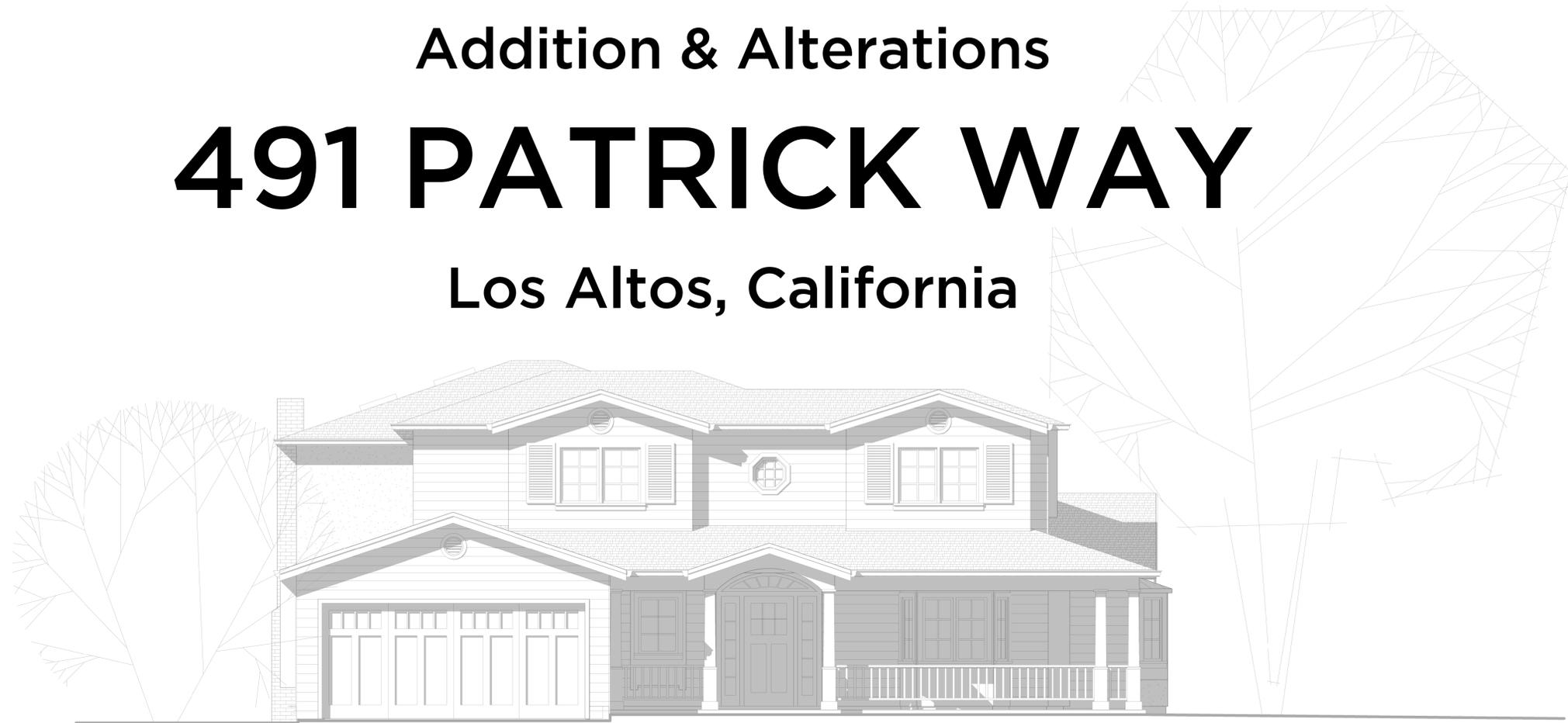


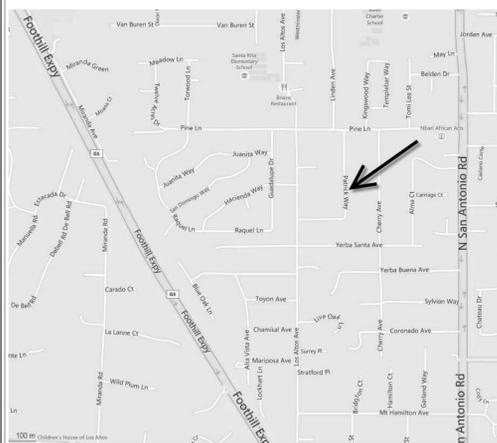
Addition & Alterations

491 PATRICK WAY

Los Altos, California



Vicinity Map



General Notes

- All work shall be done in strict accordance with all applicable codes adopted by local jurisdictions, latest editions, as amended by State Of California and local jurisdiction. Not all code requirements are explicitly called out on these drawings and the final responsibility for compliance is with the contractor.
- The intent of the Construction Documents is to include all labor, materials, equipment, and transportation necessary for the complete and proper execution of the Work, consistent with good practice. Any work or item not specifically called for in the drawings but required for a complete and fully functioning installation consistent with the intent of the Construction Documents shall be supplied by the Contractor as if specified.
- The contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the contractor.
- Deviations or alterations to any portion of the Work or specific details will not be allowed unless approved by the Architect prior to work being done.
- Contractor to verify all existing conditions before commencing with work in order to ensure conformance with Construction Documents. All inconsistencies shall be brought to the attention of the Architect prior to proceeding with any work.
- Any questions regarding the intent related to the layout of the new work shall be brought to the attention of the Architect prior to proceeding with any work.
- These Construction Documents (drawings, specifications and other documents), prepared by the Architect and the Architect's consultants, are instruments of professional service (instruments of service) for use solely with respect to this Project under contract with the Owner as listed on this sheet. This includes documents in electronic form. The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner, or future Owner, for this Project or future additions or alterations to this Project or for other projects, without the prior written agreement of the Architect. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the Architect and the Architect's consultants.
- These Construction Documents, as instruments of professional service (Instruments of Service), may require interpretation or clarifications during the Construction phase. No warranties are expressed or implied in connection with providing the professional services, nor is any warranty or assurance provided as to the performance of the Project.
- Manufacturers printed or published instructions shall be strictly complied with for the incorporation of all manufactured materials and equipment into the building.
- All materials shall be of the specified grades or better. Second hand or used material shall not be incorporated in the building without the specific approval of the Architect.
- Contractor shall be held responsible for all loss and damage that may happen to new or existing Work or to any of the materials used thereon until the acceptance of the Work by the owner. Damage incurred to existing conditions to remain are to be returned to their original condition.
- During the construction period, the premises shall be kept free from accumulations of waste materials or rubbish, and the Work shall be made broom clean from time to time. At the completion of the Work, all glass, floors, plumbing fixtures, etc., shall be left clean and free from debris, rubbish and miscellaneous materials.
- General Contractor and any subcontractors shall guarantee all work installed by him for a period of one (1) year from the date of final completion of the Work. The General Contractor and subcontractors agree that during the guarantee period, any defective work, and any other work damaged thereby, shall be replaced promptly and properly without cost to the Owner or Architect.

Project Data

Project Address	491 Patrick Way Los Altos, CA 94022		
APN	167-27-026		
Zone	R1-10		
Lot Area	10,252.15 SF		
Coverage	<i>Existing</i>	<i>Proposed</i>	<i>Allowed/Required</i>
House	1,838.2	2,430.2	
Cabana	293.8	293.8	
Total	2,132	2,724	10,252.15 x .30 = 3,075.6 sf
Floor Area	<i>Existing</i>	<i>Proposed</i>	<i>Allowed/Required</i>
First Floor Area	1,838.2	2,406.3	
Second Floor	750.5	1,154.6	
Cabana	293.8	293.8	
Total Floor Area	2,882.5	3,561.0	10,252.15 x .35 = 3,588.3 sf
Setbacks			
Front	25.03	25.03 NC	25-0
Rear	50.24	45-5 1/4	25-0
Right Side - First	13.31	13.31 NC	10-0
Right Side - Second	36-5	19-6 1/2 (N) work	17-6
Left Side - First	14.87	14.87 NC	10-0
Left Side - Second	14.87	22-0 1/2 (N) work	17-6
Height	22-0	22-0	27-0
Square Footage Breakdown			
Habitat	1718.8	297.3	2016.1
Non-habitat	413.2	-14.8	398.4
Lot Calculations			
Net Lot Area	10,252.15		
Front Yard Hardscape	1194 sf (60%) Existing/no change		
Total Hardscape	6210		
Total Softscape	4042.15		
Parking	Existing to remain unchanged - 2 covered		
Grading	All grades to remain natural		

Project Code Summary

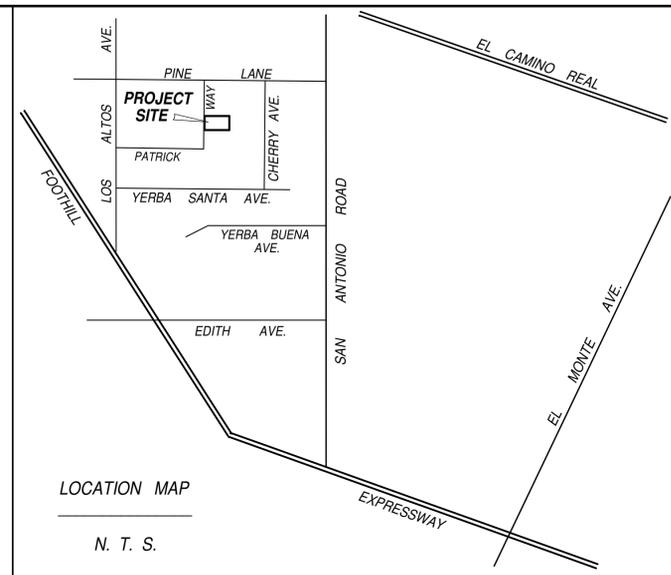
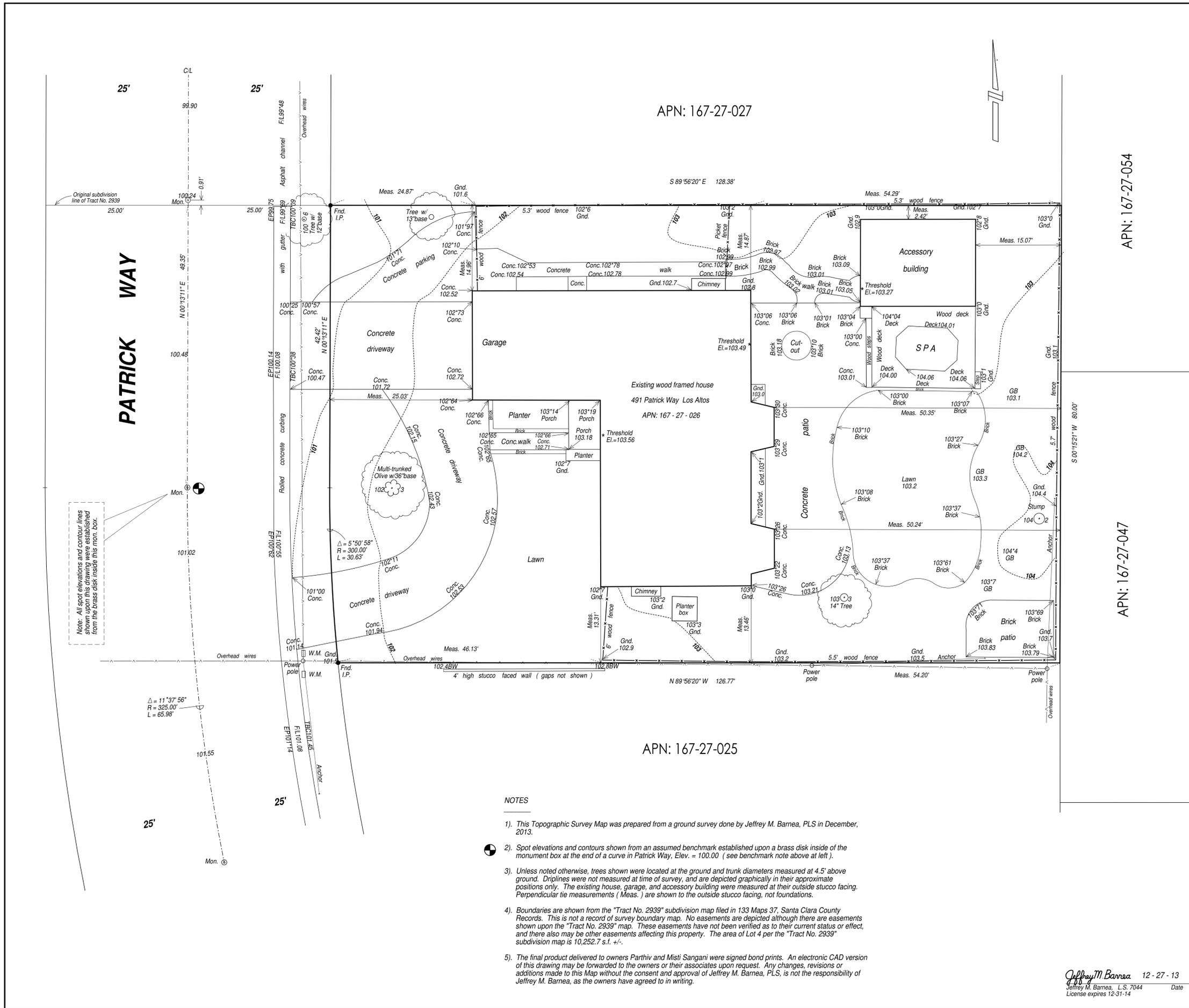
Project Address	491 Patrick Way Los Altos, CA 94022
APN	167-27-026
Scope of Work	The work consists of a two story addition and interior remodel
Building Code - 2010 versions	California Residential Code California Building Code (for structural design where applicable) California Plumbing Code California Mechanical Code California Electrical Code California Energy Code California Green Building Code California Fire Code California Reference Standards Code
Building Occupancy Group	R3/U
Type of Construction	V-B

Index of Drawings

G-1	General Information
G-2	Survey
A-1.0	Site Plan & Neighborhood Plan
A-1.1	Landscape & Tree Protection Plan
A-1.2	Area Diagrams
A-2.0	Existing Floor Plans
A-2.1	Existing Exterior Elevations
A-3.0	Proposed Floor Plans
A-3.1	Roof Plan
A-4.0	Exterior Elevations
A-4.1	Exterior Elevations

Project Directory

PROJECT ADDRESS	419 Patrick Way Los Altos, CA 94022	ARCHITECT	Fred Blome - Blome Architecture 719 Regal Court Menlo Park, CA 94025 (650) 325-5443 / Fax (650) 322-3363 fred@blomearchitecture.com
OWNER	Misti & Parthiv Sangani 491 Patrick Way Los Altos, CA 94022 (650) 917-9343 parthiv586@gmail.com	SURVEYOR	Jeff Barnes 789 14th Avenue Menlo Park, CA 94025 (650) 261-1982 jbarnespl@aol.com
BUILDING DEPARTMENT	City of Los Altos 1 N San Antonio Rd Los Altos, CA 94022 (650) 858-3390		



APN: 167-27-054

APN: 167-27-047

LEGEND

- Tree, as noted.
- EP Edge of pavement.
- 102.3;102.3 Spot elevation.
- F/L Flow line.
- Conc. Concrete.
- W.M. Water meter.
- Fence line, as noted.
- TBC Top, back of rolled curb.
- Gnd. Ground.
- Fnd. I.P. Found Iron pipe.
- Mon. Monument.
- GB Grade break.
- 103 Contour.
- C/L Center line.

Note: All spot elevations and contour lines shown upon this drawing were established from the brass disk inside this mon. box.

- NOTES**
- This Topographic Survey Map was prepared from a ground survey done by Jeffrey M. Barnea, PLS in December, 2013.
 - Spot elevations and contours shown from an assumed benchmark established upon a brass disk inside of the monument box at the end of a curve in Patrick Way, Elev. = 100.00 (see benchmark note above at left).
 - Unless noted otherwise, trees shown were located at the ground and trunk diameters measured at 4.5' above ground. Driplines were not measured at time of survey, and are depicted graphically in their approximate positions only. The existing house, garage, and accessory building were measured at their outside stucco facing. Perpendicular tie measurements (Meas.) are shown to the outside stucco facing, not foundations.
 - Boundaries are shown from the "Tract No. 2939" subdivision map filed in 133 Maps 37, Santa Clara County Records. This is not a record of survey boundary map. No easements are depicted although there are easements shown upon the "Tract No. 2939" map. These easements have not been verified as to their current status or affect, and there also may be other easements affecting this property. The area of Lot 4 per the "Tract No. 2939" subdivision map is 10,252.7 s.f. +/-.
 - The final product delivered to owners Parthiv and Misti Sangani were signed bond prints. An electronic CAD version of this drawing may be forwarded to the owners or their associates upon request. Any changes, revisions or additions made to this Map without the consent and approval of Jeffrey M. Barnea, PLS, is not the responsibility of Jeffrey M. Barnea, as the owners have agreed to in writing.

Jeffrey M. Barnea 12-27-13
 Jeffrey M. Barnea, L.S. 7044 Date
 License expires 12-31-14



Topographic Survey Map

Lands of Sangani 491 Patrick Way APN: 167-27-026
 Los Altos Santa Clara County California

**JEFFREY M. BARNEA, L.S. 7044 789 14TH AVE.
 MENLO PARK, CA 94025 PH/FAX (650) 261-1982**

SCALE: 1" = 8' 13-144 DECEMBER, 2013

Site Plan Notes

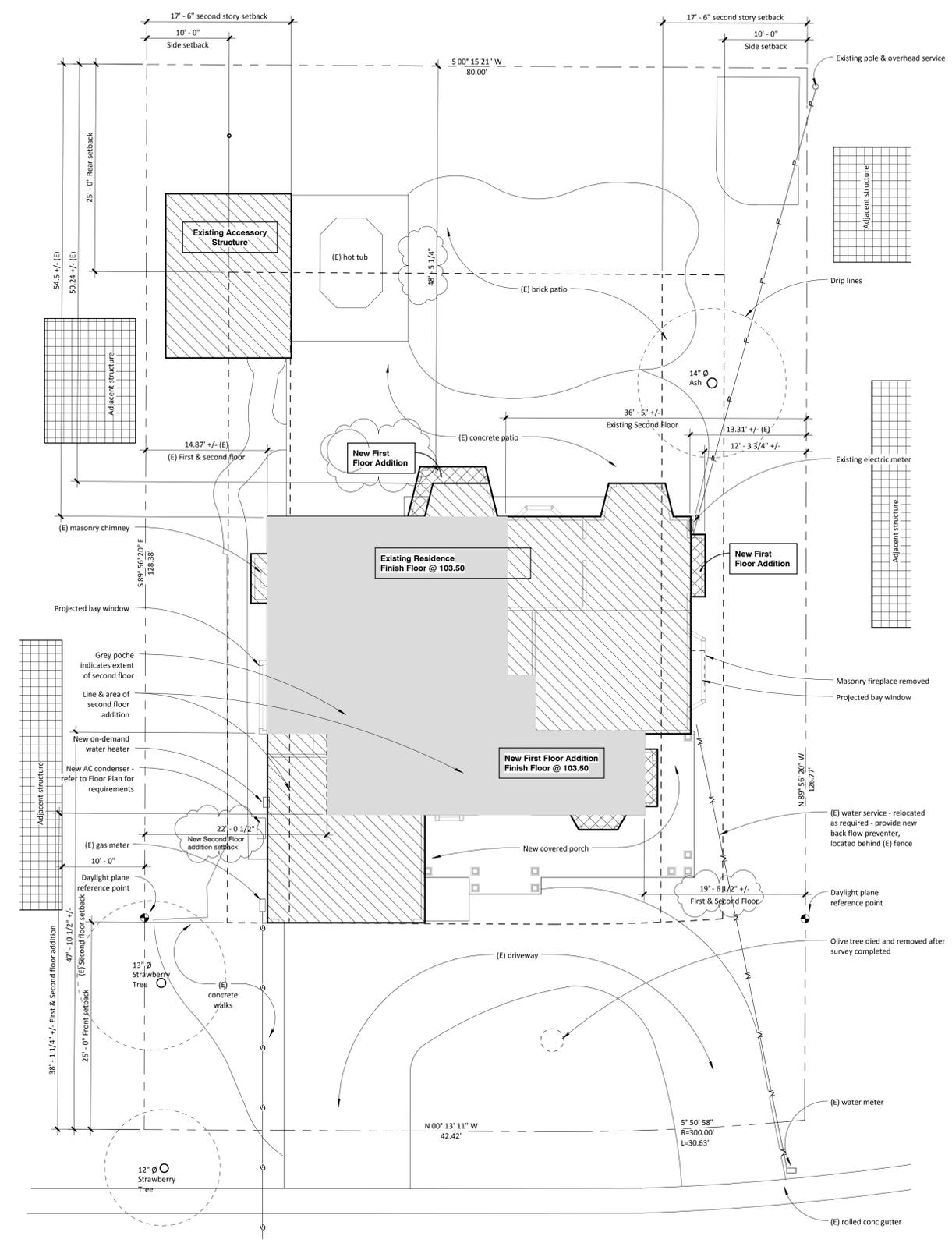
Drainage:
Provide 5% minimum positive drainage slope away from foundation at new addition & 2% general slope away from adjacent property line & towards the public right-of-way. All new downspouts to be drained to splash blocks, minimum 2 ft long, or sub-surface drain system as indicated.

Tree preservation:
All significant trees on site and adjoining the property in the are of work are shown on the Site Plan. Protect all existing trees as required to prevent damage or harm by any means whatever, including, without limitation, vehicles, machinery, or building supplies or materials (including fluids) during any construction. Provide protective plastic construction fencing around existing trees to the fullest extent possible. The intent is to preserve natural grades at the base of existing trees and minimize construction disturbance. The General Contractor shall take care during trenching, foundation excavations and construction to preserve and protect noted trees and their root systems. All cut root systems shall be cut clean and dressed. An Owner employed arborist shall review the exposed root systems.

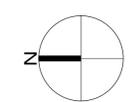
Storm drain pollution prevention:
The Contractor is responsible for ensuring that no dirt or construction debris enters the City storm drain system.
Refer to Los Altos Construction Best Management Practices for requirements.
• The timing of grading activities shall be during the dry weather if feasible.
• Provide temporary and permanent planting of exposed soil.
• Provide temporary sediment basins and traps if required to contain run off.
• Provide straw ground cover/mulching over soil prior to rainy season.
• Provide covers over stockpiles and excavated soils with secured tarps or plastic sheathing.
• Provide temporary silt fences or straw rolls at downslope of construction zone prior to rainy season. Provide storm drain inlet filters as required.
• Stabilize construction entrance as required.
• Adjacent properties, undisturbed areas, and street/sidewalks to be protected from construction impacts.
• Sediment laden water is not permitted to leave the site.
• Measures shall be taken such that the storage, handling and disposal construction materials and wastes will be prevented to have contact with storm water.
• Inappropriate erosion control measures and maintenance provisions can lead to heavy fines from Regional Water Quality Control Board (RWQCB).
• The grading and drainage shall comply with all applicable NPDES regulations to control storm water pollution.
• The storm runoff generated by the new project shall not drain onto adjacent properties. The existing storm drainage from the adjacent properties shall not be blocked by the new development.



2 Neighborhood Vicinity Map
1" = 40'-0"



1 Site & Landscape Plan
1/8" = 1'-0"

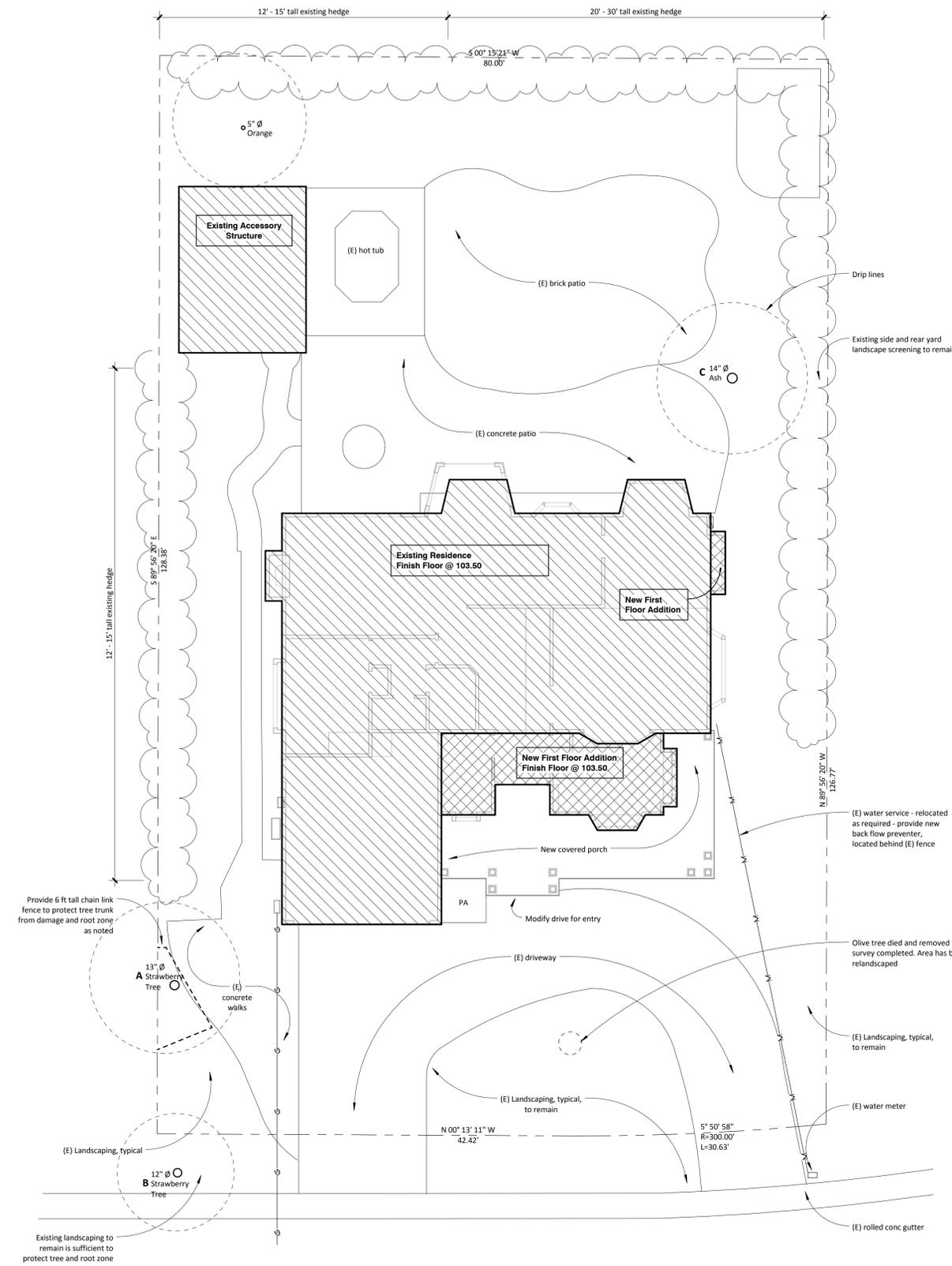


Tree Protection Notes

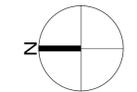
- Tree preservation:**
- All significant trees on site and adjoining the property in the are of work are shown on the Site Plan.
 - Protect all existing trees as required to prevent damage or harm by any means whatever, including, without limitation, vehicles, machinery, or building supplies or materials (including fluids) during any construction. Provide protective plastic construction fencing around existing trees to the fullest extent possible.
 - The intent is to preserve natural grades at the base of existing trees and minimize construction disturbance.
 - The General Contractor shall take care during trenching, foundation excavations and construction to preserve and protect noted trees and their root systems. All cut root systems shall be cut clean and dressed. An Owner employed arborist shall review the exposed root systems.

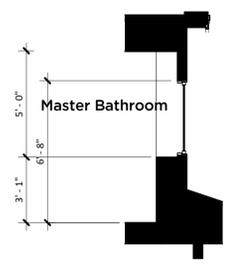
Tree Schedule

Mark	Tree Species	Tree dia	Comments
A	Strawberry Tree	1' - 1"	Retained
B	Strawberry Tree	1' - 0"	Retained
C	Ash	1" - 2"	Retained
D	Orange	5"	Retained

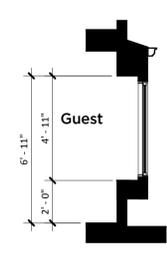


1 Landscape & Tree Protection Plan
1/8" = 1'-0"

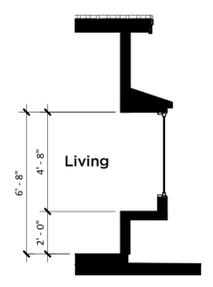




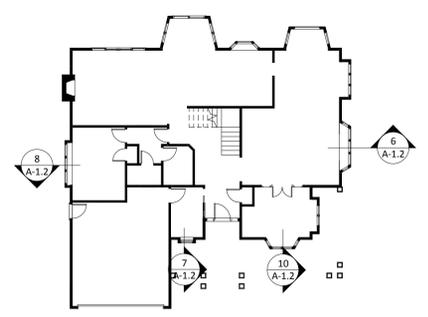
10 Master Bath
1/4" = 1'-0"



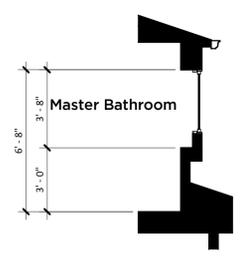
8 Guest Room Bay
1/4" = 1'-0"



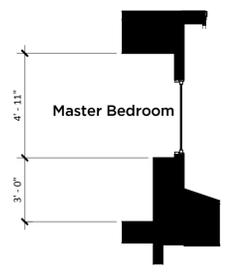
6 Living Room Bay
1/4" = 1'-0"



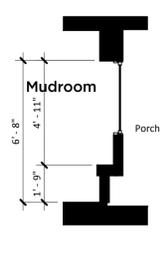
4 First Floor Key Plan
1/16" = 1'-0"



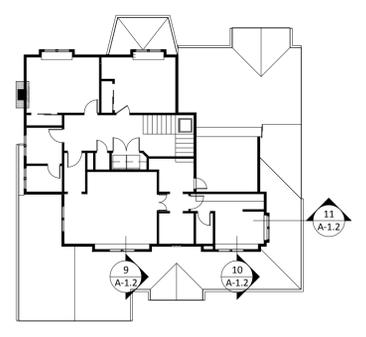
11 Master Bath 2
1/4" = 1'-0"



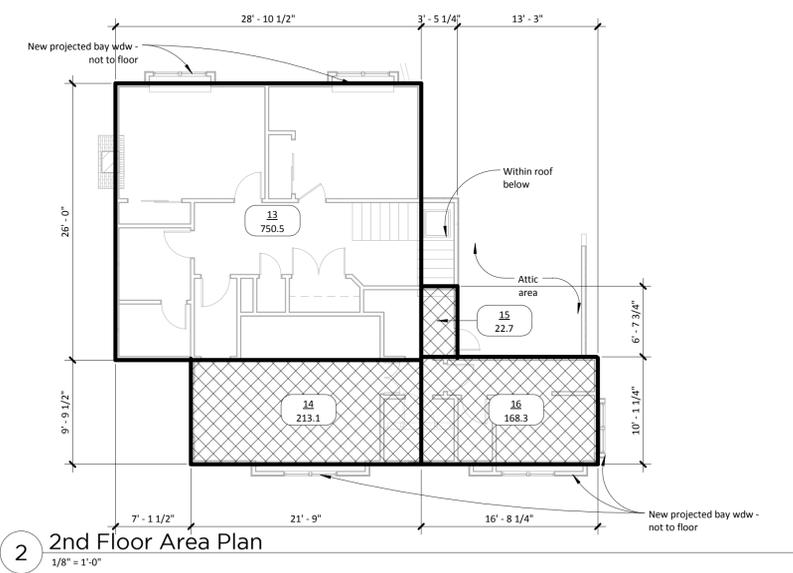
9 Master BR
1/4" = 1'-0"



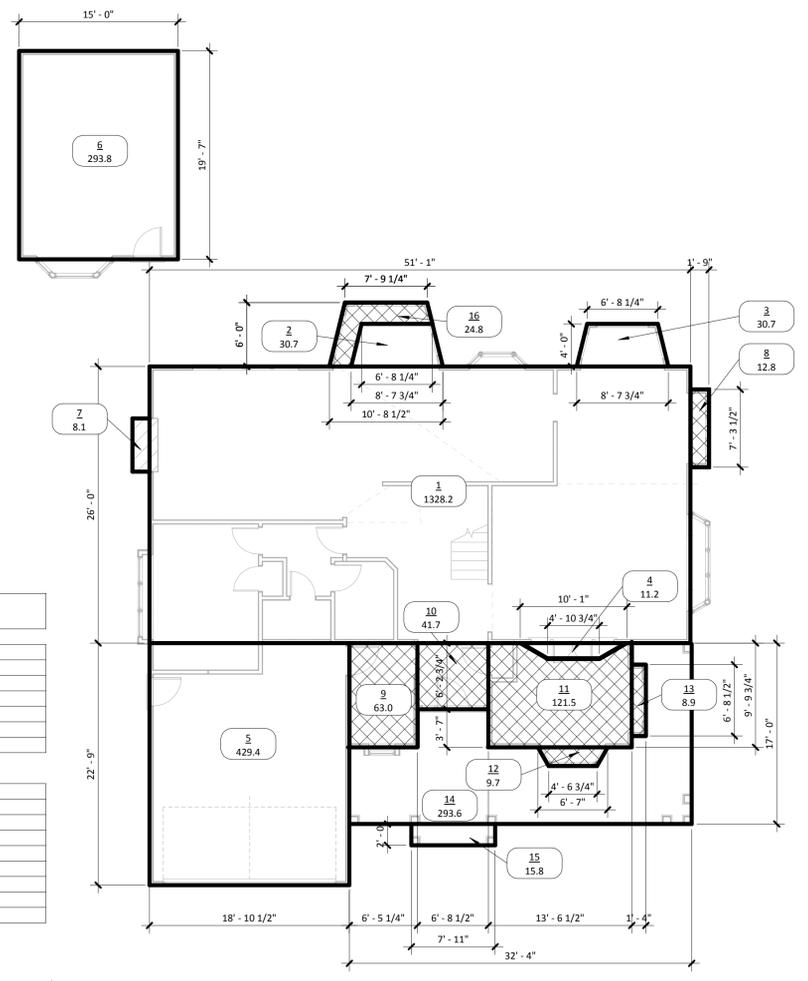
7 Mud Rm Bay
1/4" = 1'-0"



5 Second Floor Key Plan
1/16" = 1'-0"



2 2nd Floor Area Plan
1/8" = 1'-0"



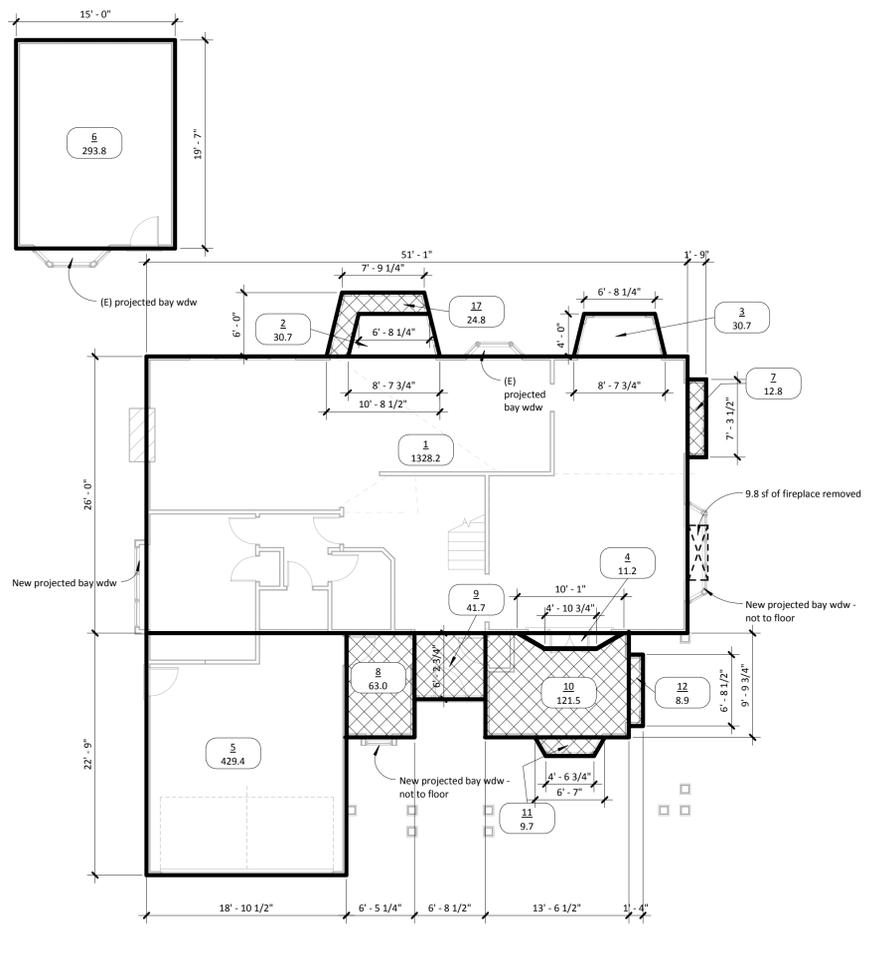
3 Development Area Plan
1/8" = 1'-0"

Coverage Area Schedule		
(E) Coverage		
1	(E) Coverage	1328.2 SF
2	(E) Coverage	31.1 SF
3	(E) Coverage	31.1 SF
4	(E) Coverage	11.2 SF
5	(E) Coverage	429.4 SF
6	(E) Coverage	294.8 SF
7	(E) Coverage	8.5 SF
(E) Coverage		
2132.9 SF		
(N) Coverage		
8	(N) Coverage	13.5 SF
9	(N) Coverage	63.0 SF
10	(N) Coverage	42.5 SF
11	(N) Coverage	122.5 SF
12	(N) Coverage	10.5 SF
13	(N) Coverage	9.5 SF
14	(N) Coverage	294.8 SF
15	(N) Coverage	16.5 SF
16	(N) Coverage	25.5 SF
(N) Coverage		
592.5 SF		
Grand total		
2725.4 SF		

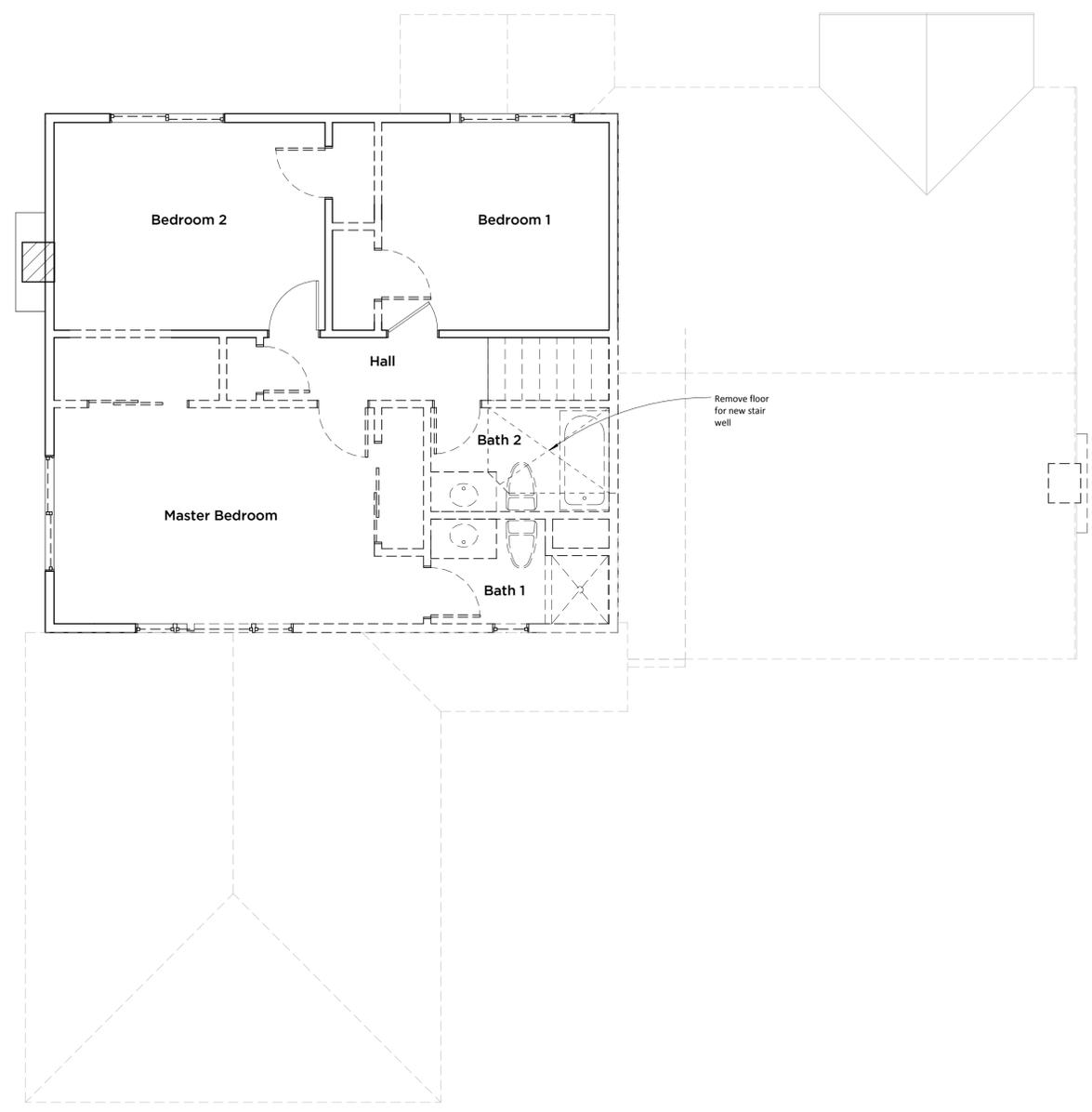
Allowables
Lot coverage 10,252.15 x .30 = 3,075.64 sf
(Fireplace removed) 9.8 sf

Note: Areas are autogenerated with CAD system

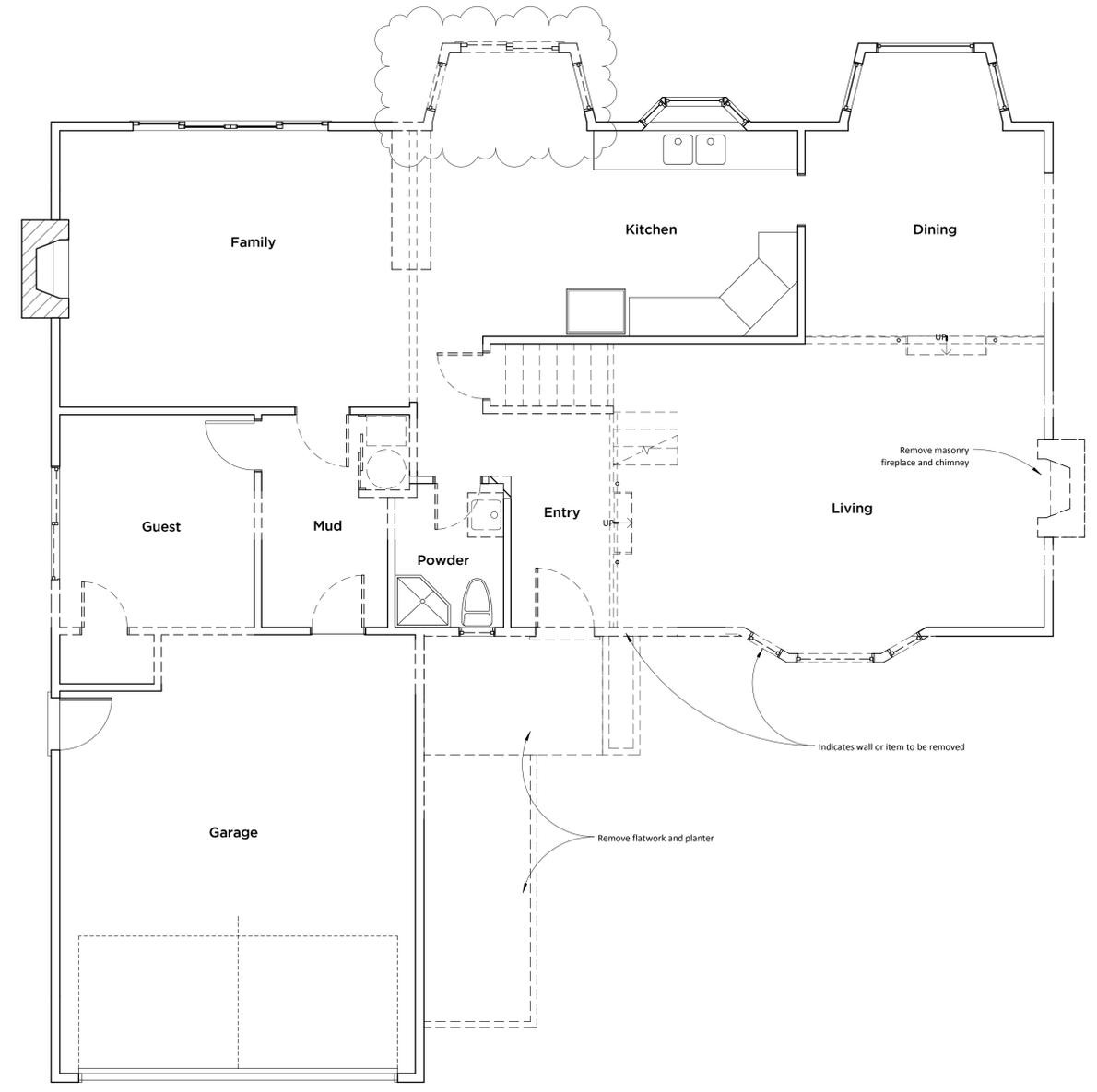
Floor Area Schedule		
First Floor		
1	(E) First Floor	1328.2 SF
2	(E) First Floor	30.7 SF
3	(E) First Floor	30.7 SF
4	(E) First Floor	11.2 SF
5	(E) First Floor	429.4 SF
6	(E) First Floor	293.8 SF
(E) First Floor		
2123.9 SF		
7	(N) First Floor	12.8 SF
8	(N) First Floor	63.0 SF
9	(N) First Floor	41.7 SF
10	(N) First Floor	121.5 SF
11	(N) First Floor	9.7 SF
12	(N) First Floor	8.9 SF
17	(N) First Floor	24.8 SF
(N) First Floor		
282.4 SF		
First Floor		
2406.3 SF		
Second Floor		
13	(E) Second Floor	750.5 SF
(E) Second Floor		
750.5 SF		
14	(N) Second Floor	213.1 SF
15	(N) Second Floor	22.7 SF
16	(N) Second Floor	168.3 SF
(N) Second Floor		
404.1 SF		
Second Floor		
1154.6 SF		
Grand total		
3561.0 SF		
Allowables		
Floor area 10,252.15 x .35 = 3,588.25 sf		



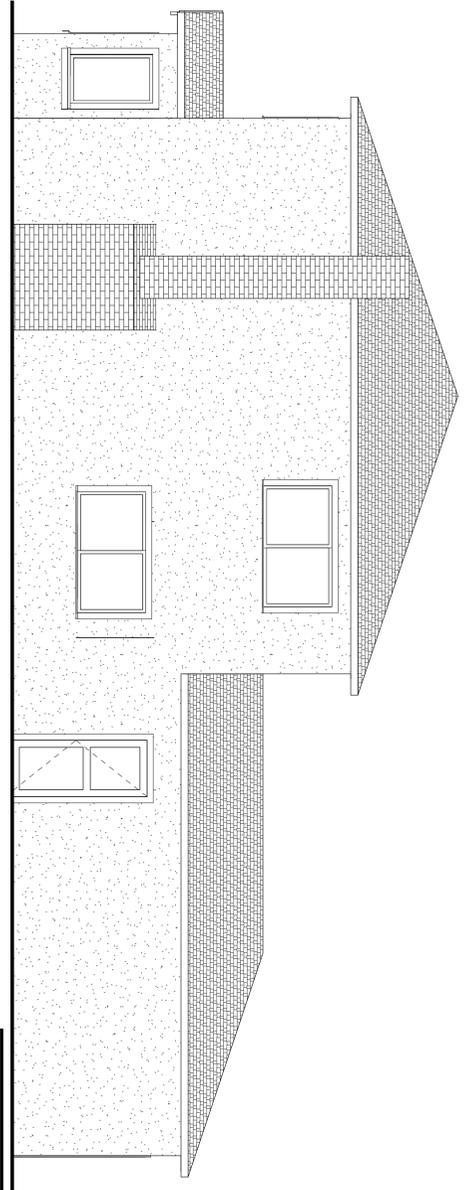
1 1st Floor Area Plan
1/8" = 1'-0"



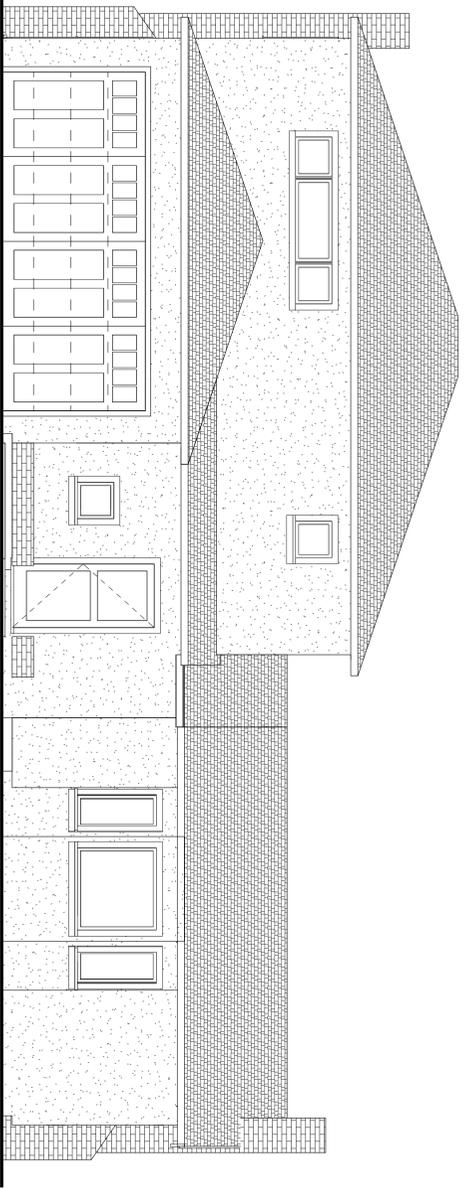
2 Demo 2 FP CD
 1/4" = 1'-0"



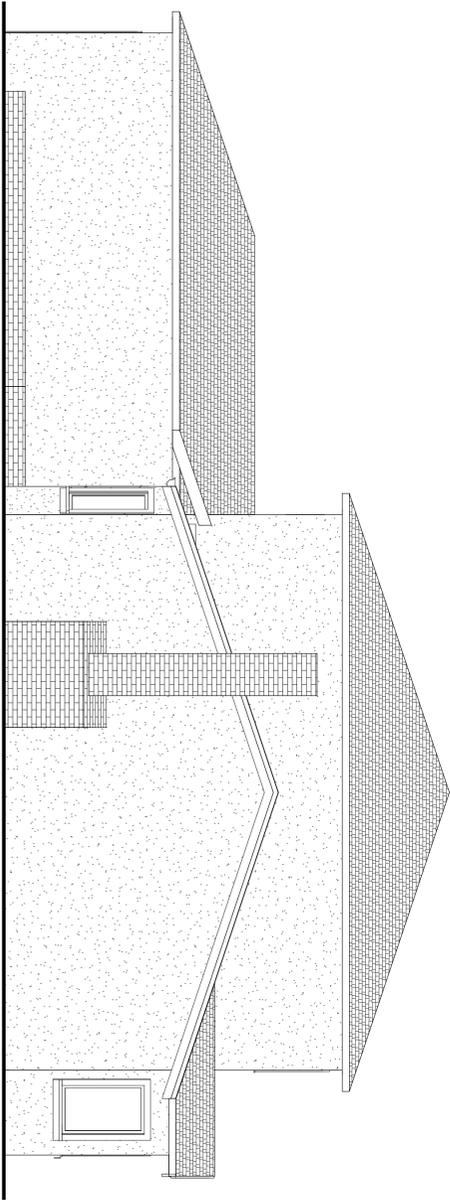
1 Existing First Floor Plan
 1/4" = 1'-0"



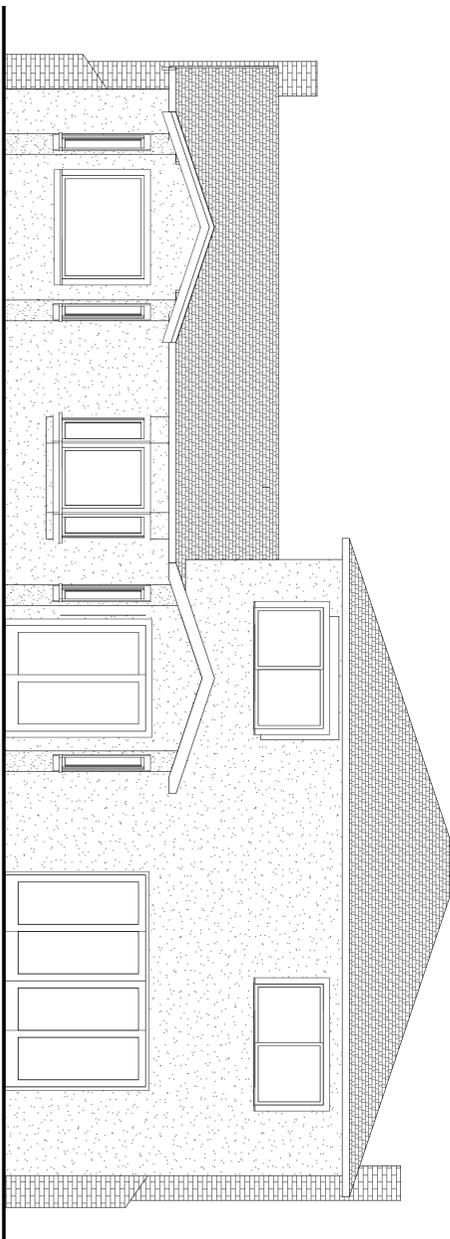
3 (E) Side Elevation - North
1/4" = 1'-0"



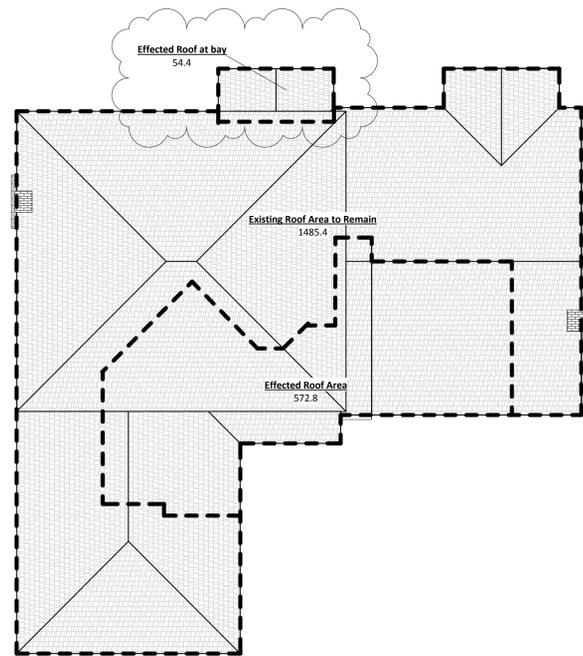
1 (E) Front Elevation - West
1/4" = 1'-0"



4 (E) Side Elevation - South
1/4" = 1'-0"



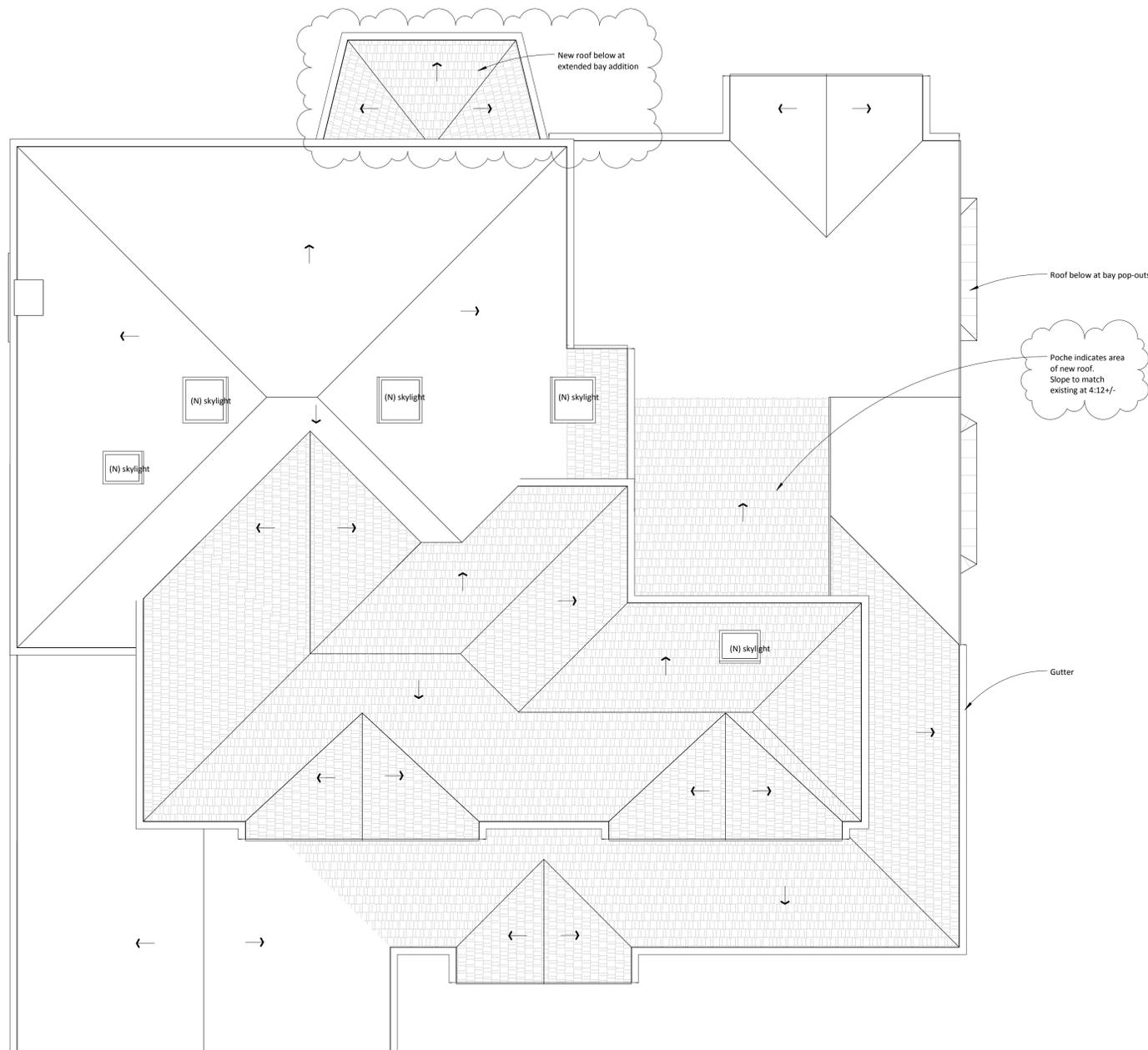
2 (E) Rear Elevation - East
1/4" = 1'-0"



2 Roof Area Plan

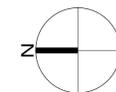
1/8" = 1'-0"

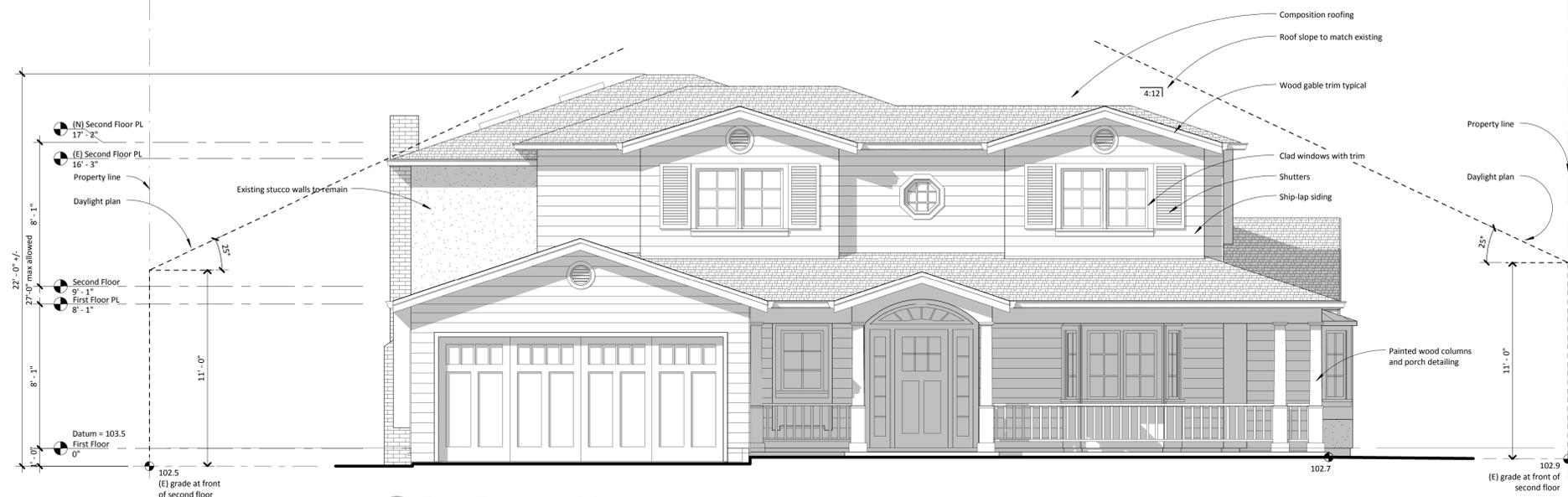
Roof Area		
Name	Area	Percentage
Existing Roof Area to Remain	1485 SF	70%
Effected Roof Area	573 SF	27%
Effected Roof at bay	54 SF	3%
Total (E) Roof Area	2113 SF	100%



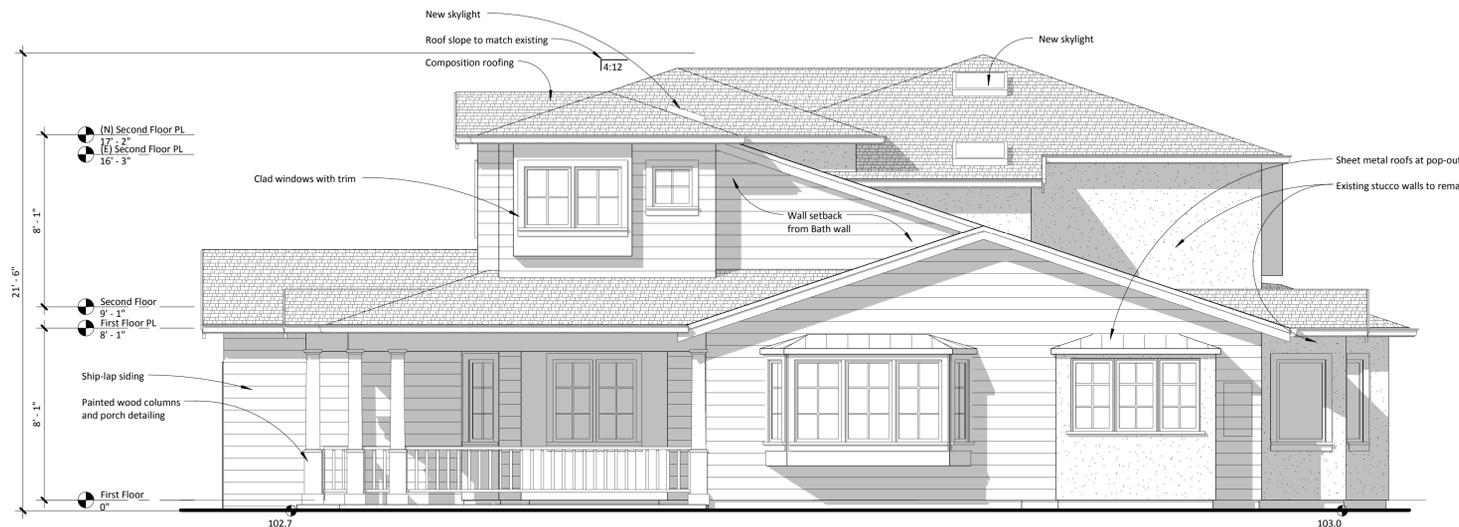
1 Roof Plan

1/4" = 1'-0"

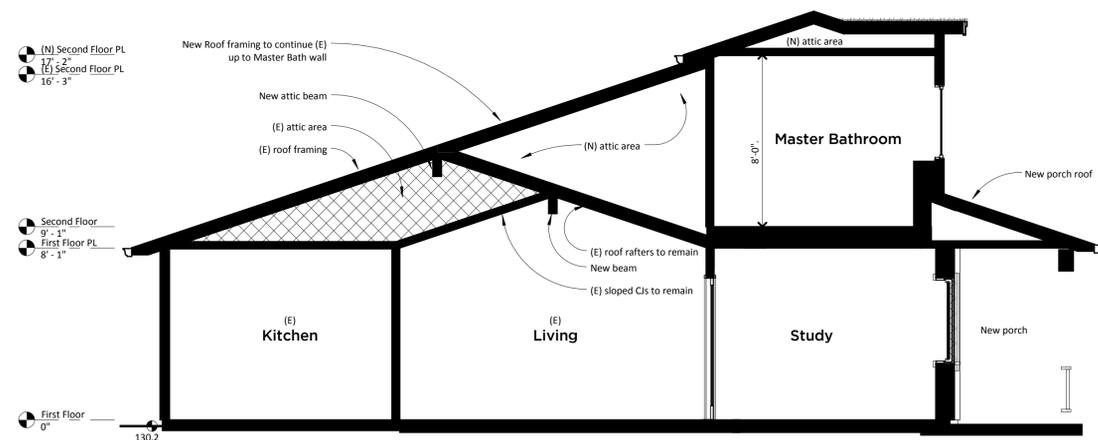




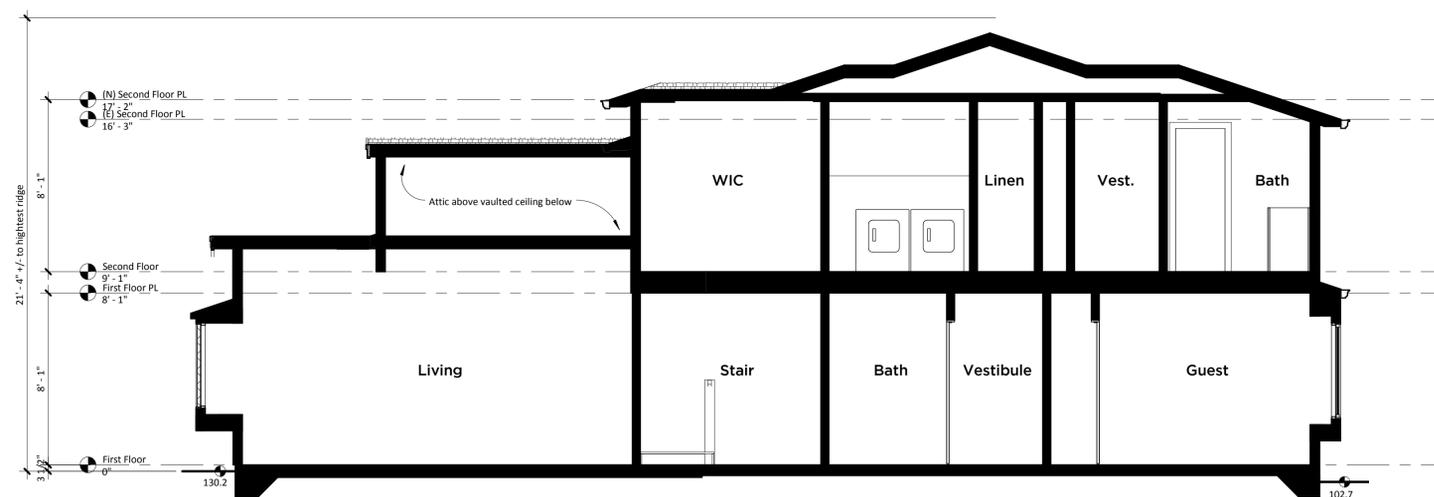
1 Front Elevation - West
1/4" = 1'-0"



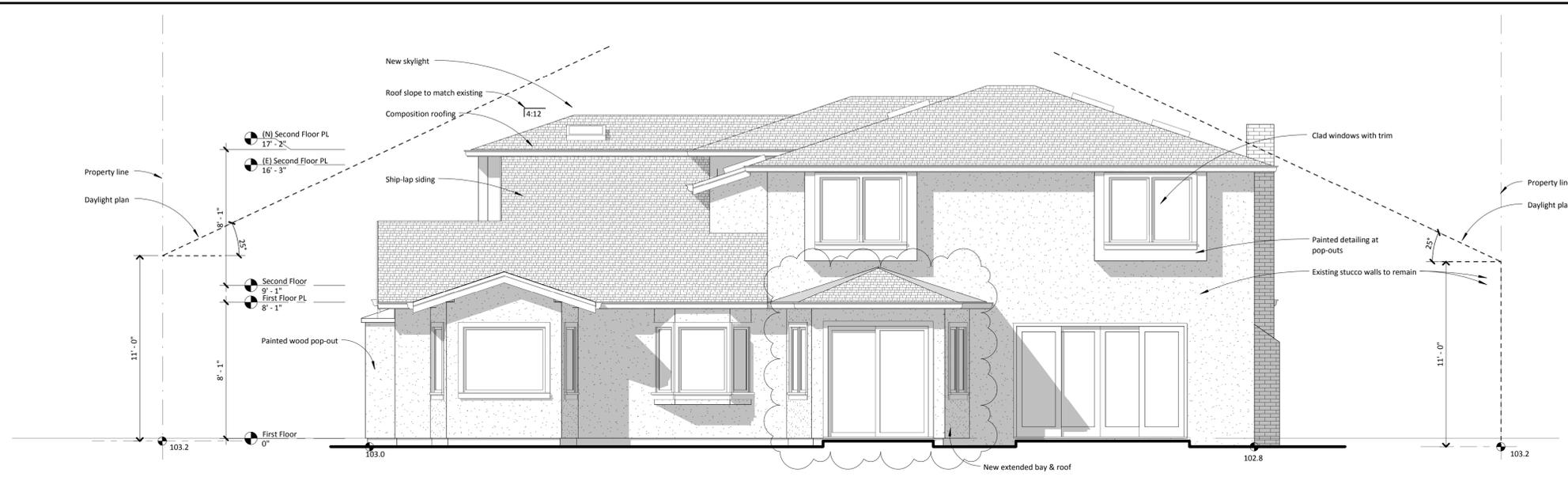
2 Side Elevation - South
1/4" = 1'-0"



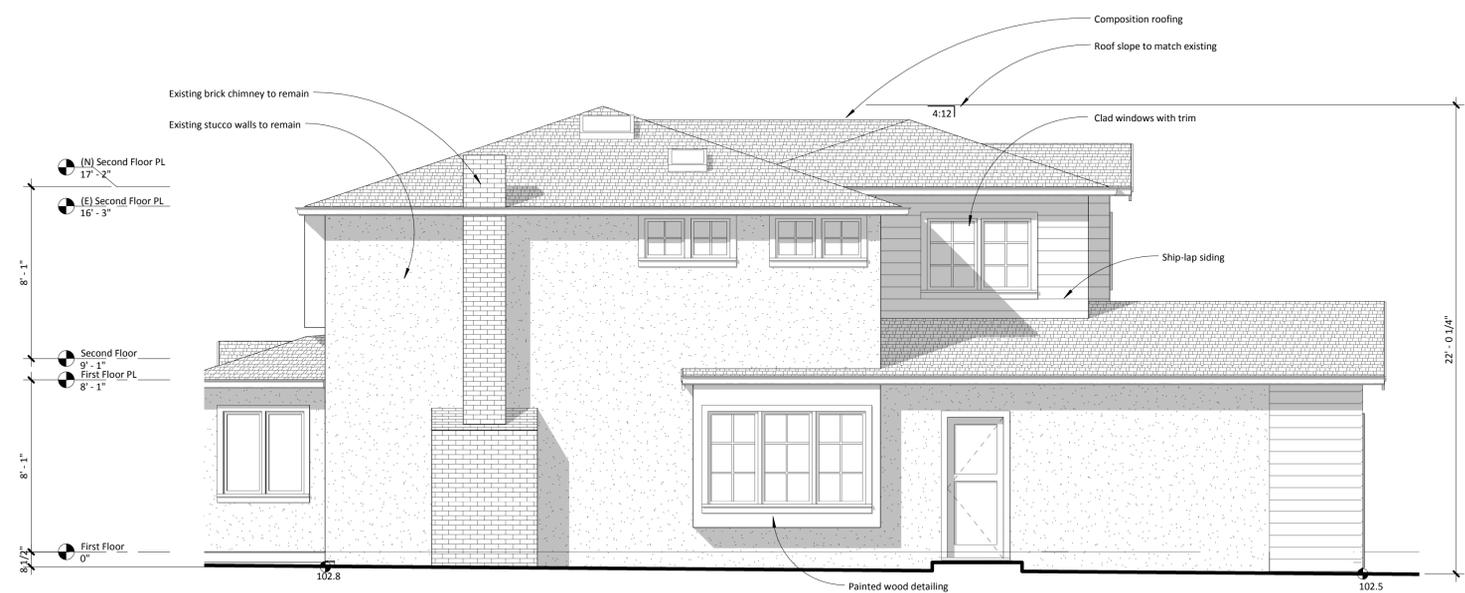
4 Section Thru Master Bath & Attic
1/4" = 1'-0"



3 Longitudinal Section
1/4" = 1'-0"



1 Rear Elevation - East
 1/4" = 1'-0"



2 Side Elevation - North
 1/4" = 1'-0"

