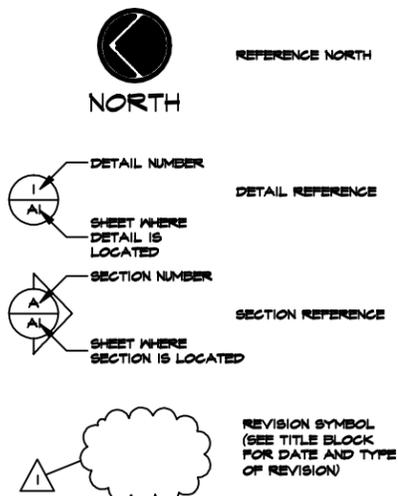


GENERAL PROJECT NOTES

- A. THIS WORK SHALL COMPLY WITH ALL 2013 CBC, CMC, CFC, CEC, CALIFORNIA ENERGY CODE, AND CALIFORNIA RESIDENTIAL CODE, AND ALL OTHER REGULATIONS AS AMENDED TO DATES APPROVED BY THE CITY OF LOS ALTOS
- B. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO, AND DURING, ALL PHASES OF WORK.
- C. IF THE CONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF THE CONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. IF ANY SUBCONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF ANY SUBCONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THAT SUBCONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR, WHO SHALL THEN CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE DIRECTING THE SUBCONTRACTOR TO PROCEED WITH THAT PORTION OF THE WORK.
- D. NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE TO AND/OR FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT OR THE OWNER.
- E. ALL MATERIALS USED SHALL BE EQUAL TO, OR EXCEED, ALL APPLICABLE STATE AND LOCAL CODES AND REQUIREMENTS.
- F. THE CONTRACTOR SHALL PROMPTLY AND LEGALLY REMOVE ALL ACCUMULATED DEBRIS DAILY, SHALL PROTECT ALL EXPOSED PORTIONS OF THE WORK FROM WEATHER ELEMENTS, SHALL AVOID OVER-LOADING THE STRUCTURE WITH CONSTRUCTION MATERIALS, AND SHALL SECURELY STORE ALL ITEMS TO BE USED FOR AND IN THE CONSTRUCTION OF THE WORK.
- G. ALL GLASS IN HAZARDOUS AREAS (INCLUDING TUBS AND/OR SHOWERS), ALL GLASS WITHIN 18" OF THE FINISHED FLOOR, AND ALL GLASS WITHIN 24" OF AN OPERABLE DOOR SHALL BE SAFETY GLASS, AND SHALL BE PERMANENTLY LABELED AS SUCH.
- H. THE CONTRACTOR SHALL MAINTAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE, ALL EXISTING UTILITIES AND CITY SERVICES DURING CONSTRUCTION.
- I. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- J. ALL ELECTRICAL CALCULATIONS AND WIRE SIZES SHALL BE PROVIDED BY A CALIFORNIA-LICENSED ELECTRICAL CONTRACTOR. RECEPTACLE, SWITCH, FIXTURE, AND EQUIPMENT LOCATIONS SHALL BE FOUND ON THE SITE PLAN AND PROPOSED FLOOR PLANS WITHIN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, FIXTURE TYPES, AND EQUIPMENT WITH THE OWNER PRIOR TO PURCHASE AND INSTALLATION.
- K. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- L. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED AS REQUIRED BY CODE AND/OR SOUND CONSTRUCTION PRACTICES.
- M. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORS FOR ALL CEILING- AND WALL-MOUNTED EQUIPMENT, HARDWARE, FIXTURES, AND ACCESSORIES.
- N. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC. SHALL BE RUN IN CONCEALED SPACES, AND ALL FRAMING SHALL BE ADEQUATELY SIZED TO ACCOMPLISH THIS RESULT WITHOUT CAUSING ANY DEFORMATION IN THE WALL PLANE.
- O. INTERIOR DIMENSIONS ARE SHOWN FROM CENTER OF WALL AND EXTERIOR DIMENSIONS ARE SHOWN FROM FACE OF STUD.
- P. EACH BEDROOM SHALL HAVE ONE EXTERIOR EGRESS-COMPLIANT WINDOW OR DOOR THAT IS OPENABLE FROM THE BEDROOM'S INTERIOR WITHOUT THE USE OF A KEY OR SPECIAL TOOLS, KNOWLEDGE, OR EFFORT.
- Q. ALL PRODUCTS LISTED IN THESE DRAWINGS BY ICBO/NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICBO/NER-APPROVED WRITTEN EVALUATION REPORT AND BE APPROVED AND LISTED BY OTHER NATIONALLY-RECOGNIZED TESTING AGENCIES.
- R. EXTERIOR OPENABLE WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, AND/OR WEATHERSTRIPPED TO LIMIT, OR ELIMINATE, AIR LEAKAGE.
- S. SINK FAUCETS USED FOR PURPOSES OTHER THAN SAFETY SHALL BE EQUIPPED WITH FLOW-CONTROL DEVICES, WITH THE TOTAL FLOW RESTRICTED TO A MAXIMUM OF THREE GALLONS PER MINUTE.
- T. SEE STRUCTURAL SHEETS FOR PROJECT CONSTRUCTION NOTES AND DETAILS.
- U. SEE ATTACHED TITLE 24 FORMS AND/OR CALCULATIONS FOR PROJECT ENERGY EFFICIENCY REQUIREMENTS.

SYMBOL LEGEND



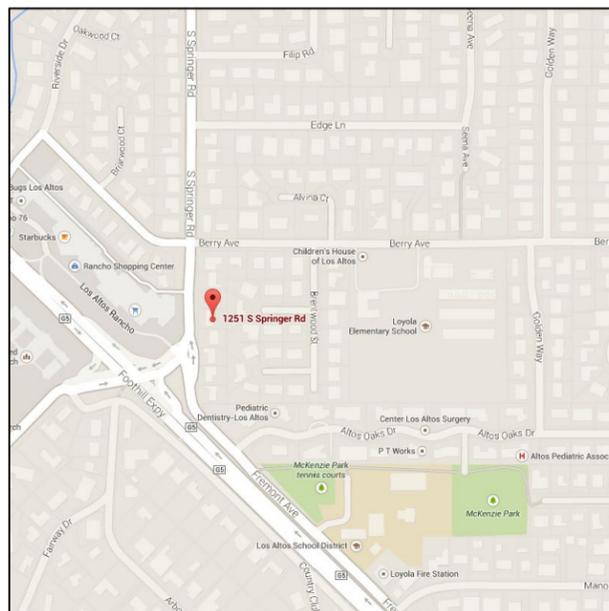
PROJECT INFORMATION

APN - 184-17-008
 ZONING R-1
 OCCUPANCY R-S & U
 TYPE OF CONSTRUCTION V-B

SHEET INDEX

- A1 - GENERAL & PROJECT NOTES
- A2 - SITE PLANS - EXISTING & PROPOSED
- A3 - PROPOSED FLOOR PLANS
- A4 - ROOF PLAN
- A5 - EXTERIOR ELEVATION
- A6 - SECTION
- A7 - SECTION
- A8 - STREETScape
- LI - LANDSCAPE PLAN

SCOPE OF WORK



11/18/14 1:34:49 PM, Steve Benzing - Architect

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED
LOT COVERAGE	4116 sf = 43.8%	28015 sf = 29.5%	30%
FLOOR AREA	1st FLR - 1699 2nd FLR - N/A TOTAL 1699 18%	1st FLR - 2131 2nd FLR - 1157 TOTAL - 3288 35%	TOTAL - 3290 35%
SETBACKS			
FRONT	25'-0	25'-0	
REAR	25'-0	36'-0	
RIGHT SIDE (1st/2nd)	8'-0/15'-6	12'-0/18'-6	
LEFT SIDE (1st/2nd)	8'-0/15'-6	10'-5/18'-1	

HEIGHT

SQUARE FOOTAGE BREAKDOWN

	EXISTING	PROPOSED
HABITABLE LIVING AREA	1300 sf	2828.5 sf
NON-HABITABLE AREA	400 sf	440 sf

LOT CALCULATIONS

NET LOT AREA - 9399 sf

FRONT YARD HARDSCAPE AREA - 645 sf/2368 - 27%

LANDSCAPE BREAKDOWN

TOTAL PROPOSED HARDSCAPE -	
RESIDENCE	- 2131
ARBOR	100
DRIVENWAY, WALKWAYS, PATIOS	570
TOTAL	2801.5-29.6%
LANDSCAPE AREA	6617.5 - 70.4%

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SITE PLAN &
 GENERAL NOTES

New Residence
 at:
 1251 S. Springer Ave
 Los Altos, Ca

for:
 M/M Amir Tekiyeh
 1251 S. Springer Ave
 Los Altos, Ca

REVISIONS:

date: 8/9/14
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 drawn by: SMB
 job no. 1442
 sheet

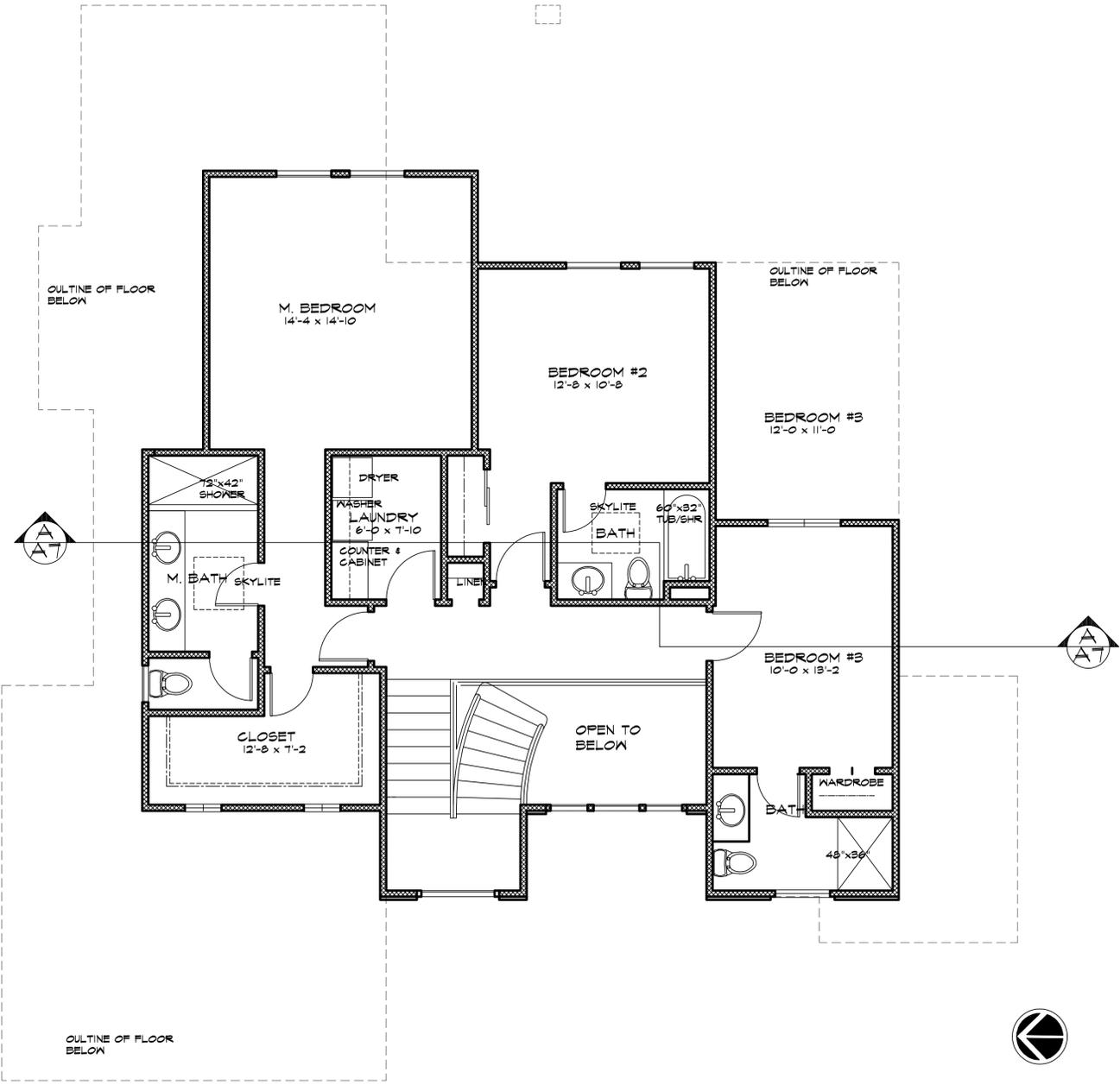
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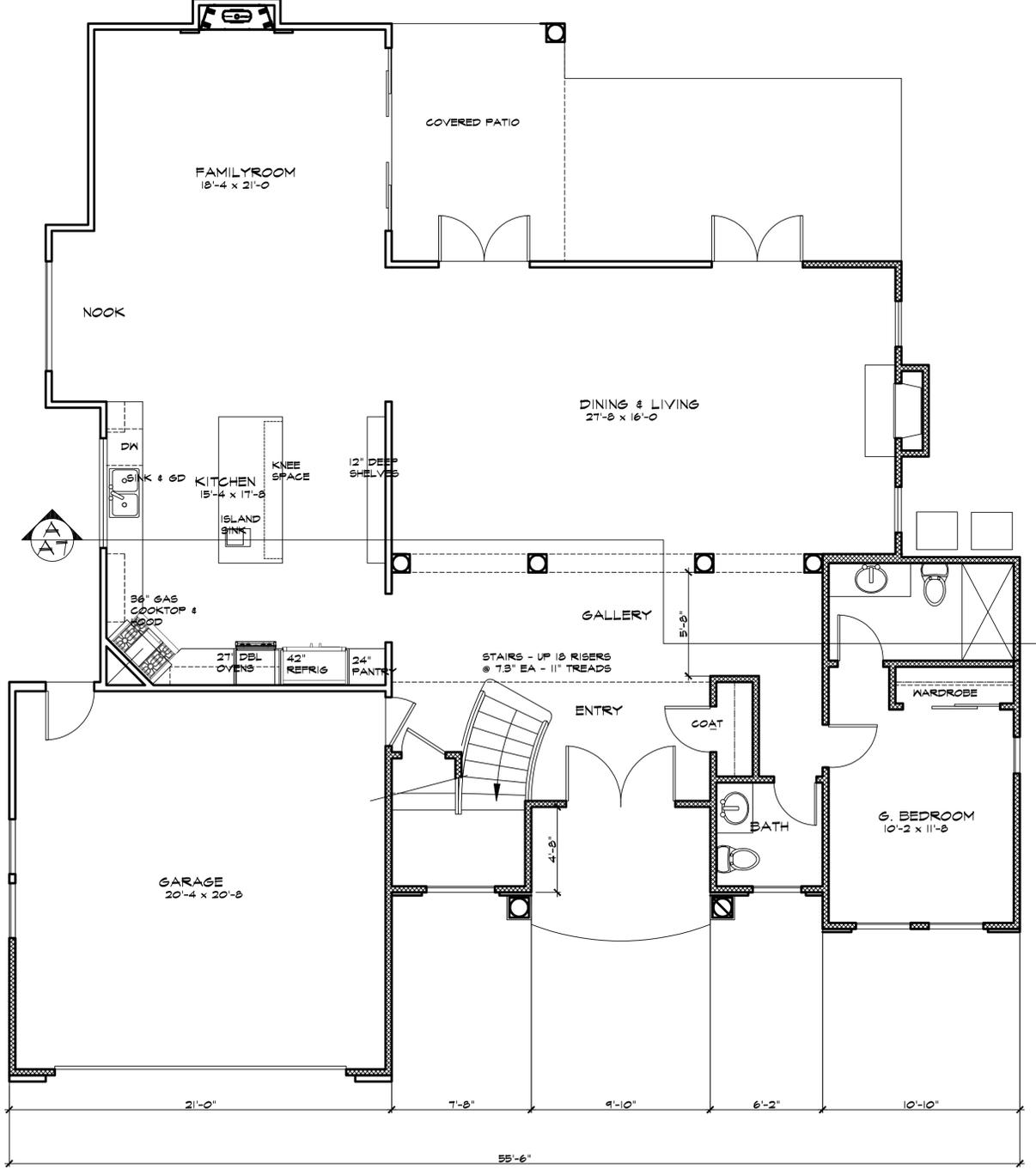
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PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

PROPOSED FLOOR PLAN

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at:
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Los Altos, Ca
for:
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Los Altos, Ca

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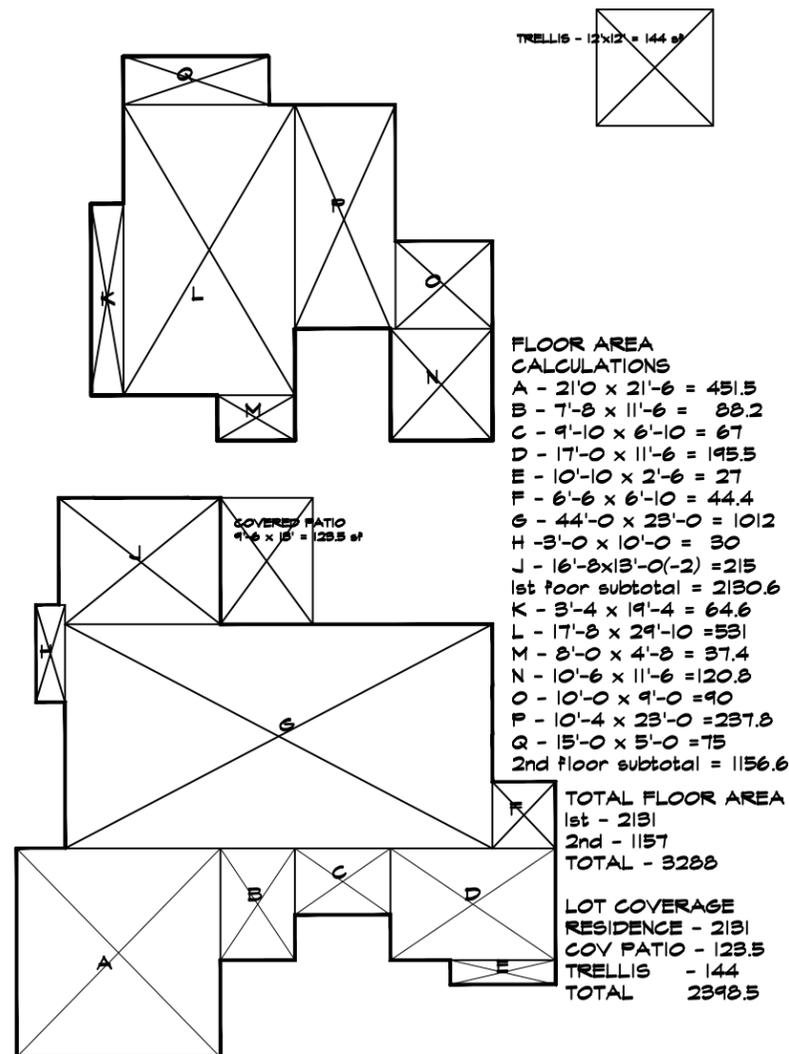
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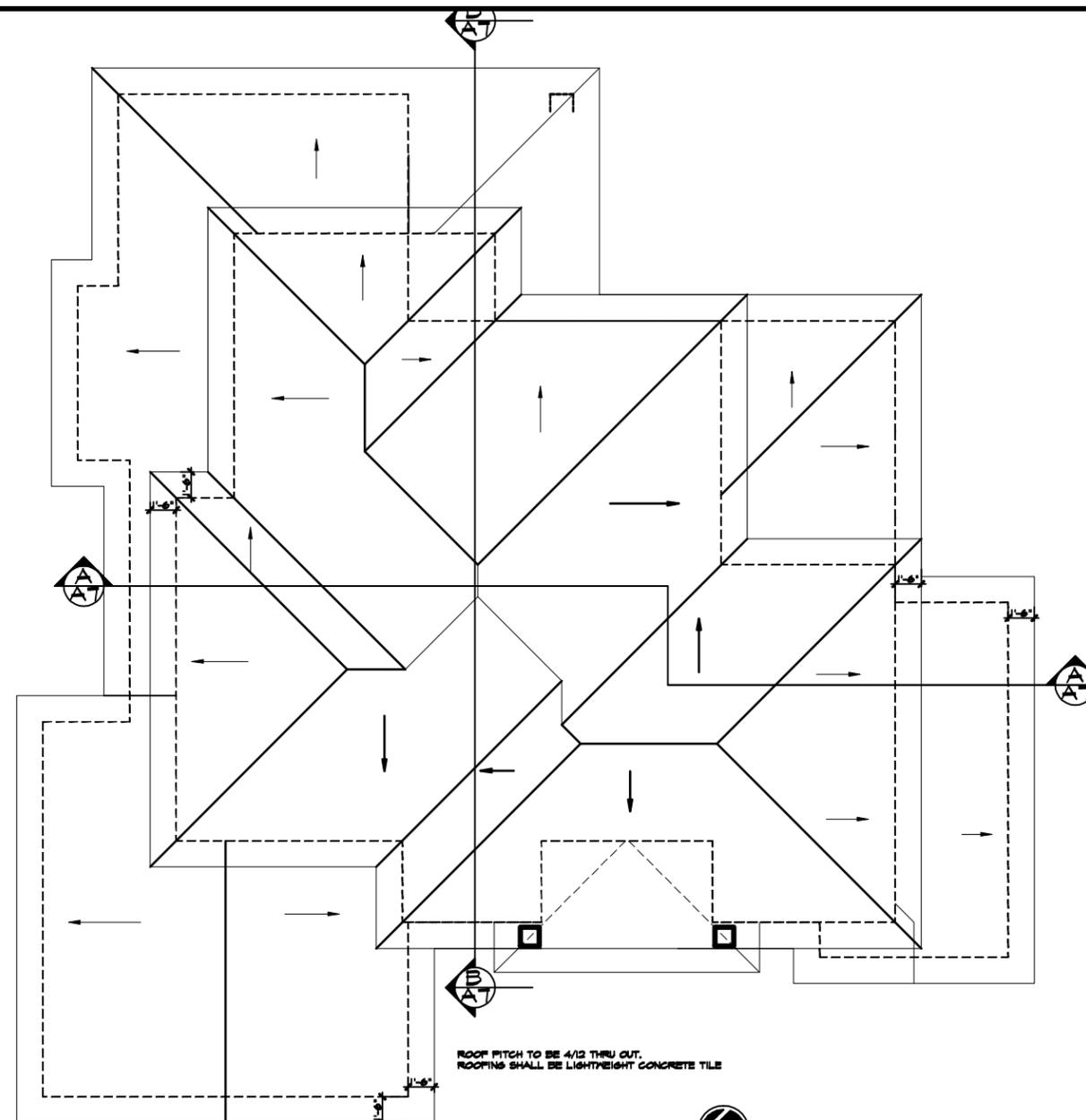
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FLOOR AREA CALCULATIONS

SCALE 1/8" = 1'-0"



PROPOSED ROOF PLAN

NORTH

SCALE 1/4" = 1'-0"

ROOF PLAN

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FRONT ELEVATION - WEST

SCALE 1/4" = 1'-0"

EXTERIOR MATERIALS -
SIDING - OLD WORLD FINISH STUCCO - BEIGE COLOR
OVERHANG TRIM - WHITE W/ DARK CORBELS
ROOFING - LIGHTWEIGHT CONC S TILE - REDDISH CLAY COLOR
WINDOWS - VINYL CASEMENTS - WHITE W/ 5" WOOD TRIM PAINTED WHITE OR RECESS AROUND
COLUMNS - TURNCRFT TUSCAN FIBERGLASS - WHITE
GABLE ELEMENT - 1" RECESS AND WROUGHT IRON CROSS OVER
GARAGE DOOR - CLOPAY - CRAFTSMAN SERIES - DARK STAINED WOOD
FRONT DOOR - SIMPSON AURORA SERIES - FIBERGLASS FAUX WOOD - STAINED DARK



REAR ELEVATION - EAST

SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION

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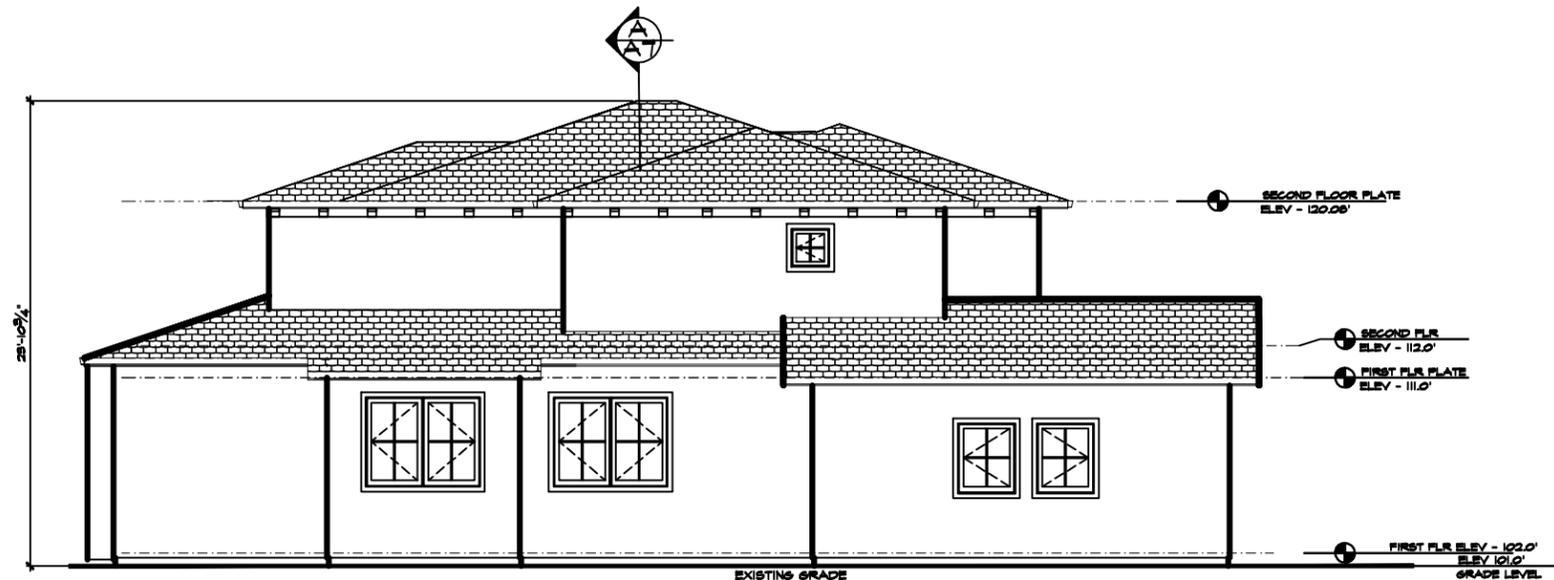
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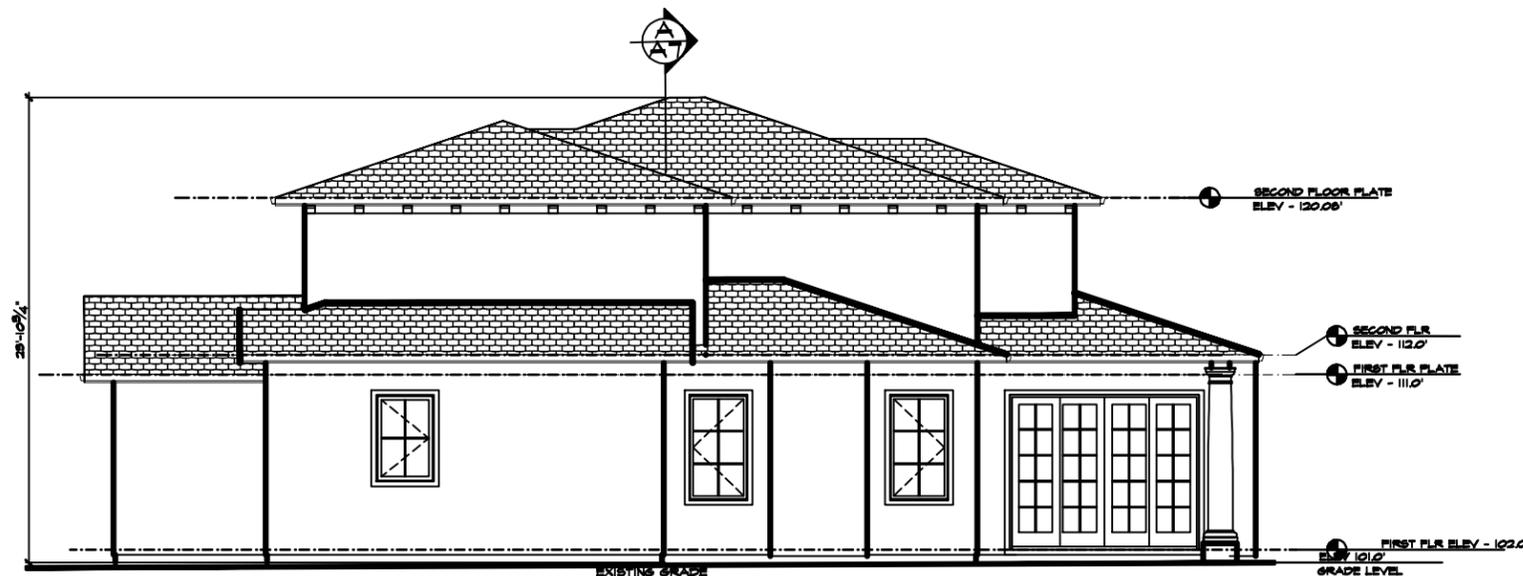
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NORTH SIDE ELEVATION

SCALE 1/4" = 1'-0"



SOUTH SIDE ELEVATION

SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION

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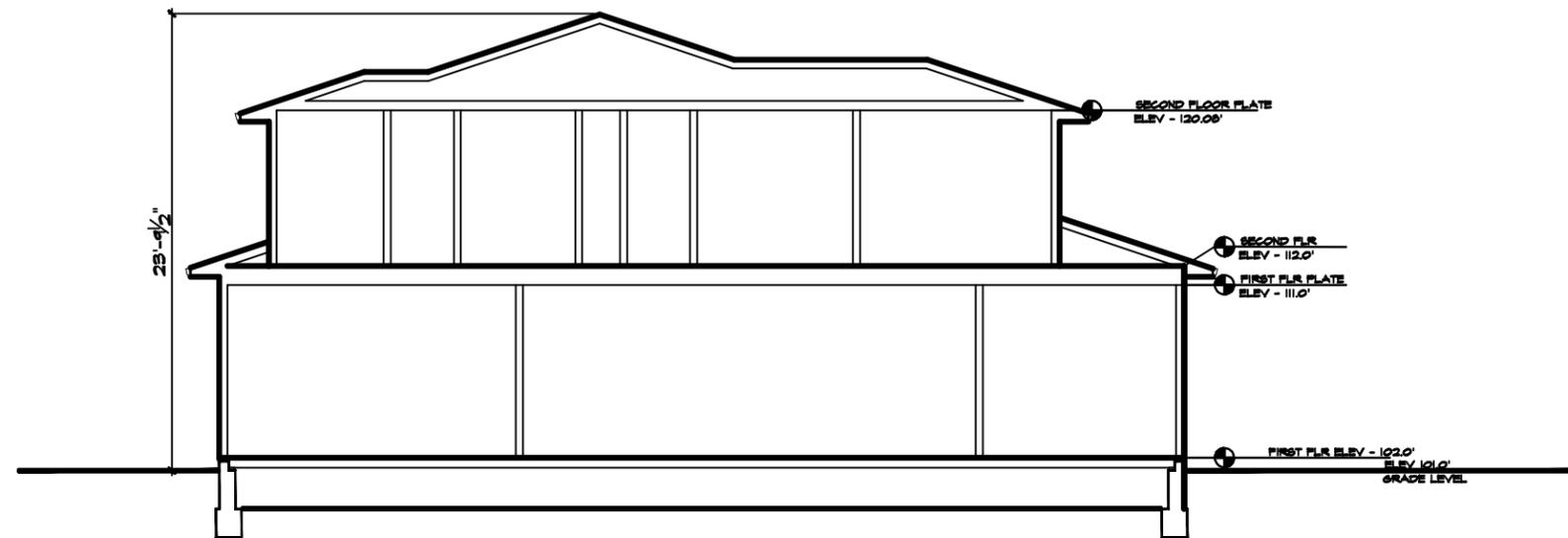
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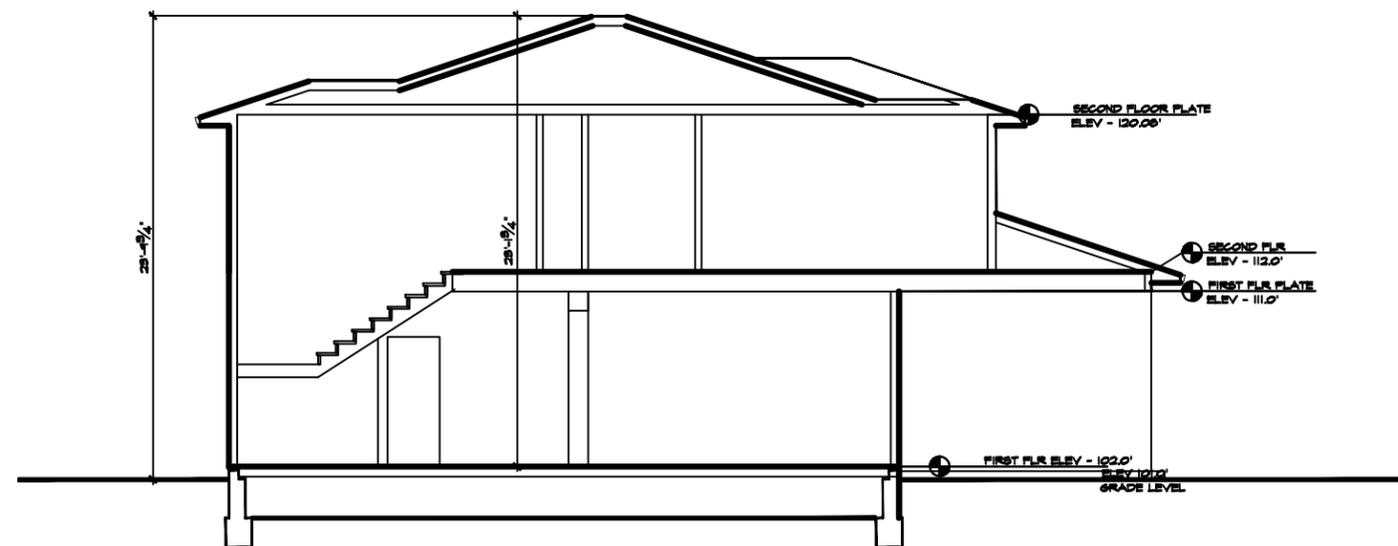
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SECTION - A

SCALE 1/4" = 1'-0"



SECTION - B

SCALE 1/4" = 1'-0"

SECTION

New Residence
at:
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Los Altos, Ca

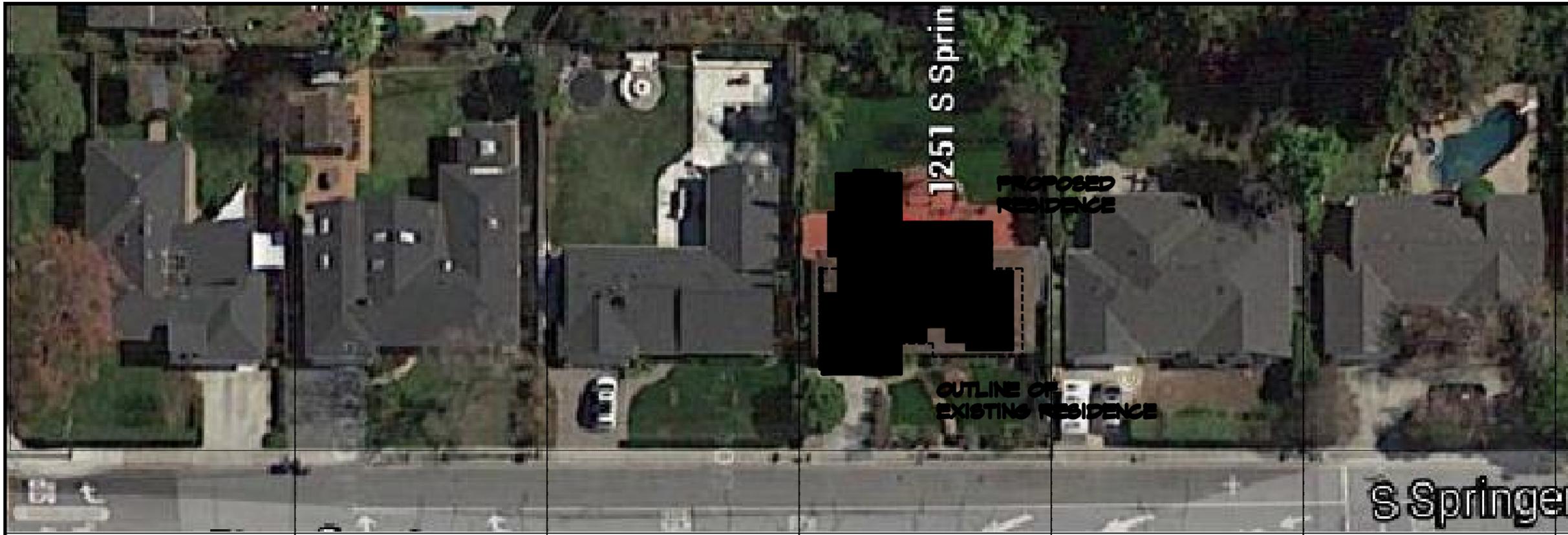
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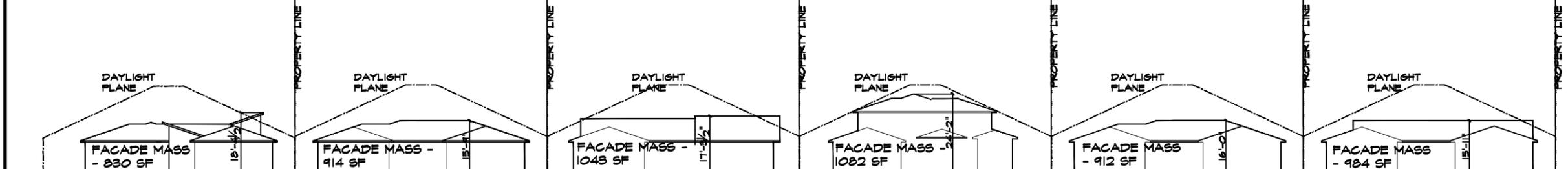


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STREETSCAPE

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for:
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1251 S. Springer Ave
Los Altos, Ca

STREETSCAPE ALONG SPRINGER

- 710 BERRY**
CALIF RANCH W/ ADDITIONS - WHITE STUCCO SIDING & DARK GREY COMPOSITION ROOF, LARGE TALL HEDGE SHIELDS RESIDENCE FROM STREET
- 1225 S. SPRINGER**
CALIF RANCH - GREY BOARD & BATT SIDING, BRICK MAINSCOT & DARK GREY COMPOSITION ROOF,
- 1242 S. SPRINGER**
CALIF RANCH - LIGHT GREY VERTICAL BOARD ON BOARD SIDING, BRICK MAINSCOT & SHUTTERS & DARK GREY COMPOSITION ROOF,
- MEDITERRANEAN STYLE - STUCCO SIDING, ARCHES, COLUMNS & SPANISH TILE ROOF.**
- 1261 S. SPRINGER**
TRADITIONAL SINGLE STORY - WHITE HORIZ SHIPLAP SIDING & DARK GREY COMPOSITION ROOF, LARGE TALL HEDGE SHIELDS RESIDENCE FROM STREET
- 1267 S. SPRINGER**
TRADITIONAL SINGLE STORY - GREY HORIZ SHIPLAP SIDING & DARK GREY COMPOSITION ROOF, LARGE TALL SHUBBERY SHIELDS RESIDENCE FROM STREET



REVISIONS:



1165 S. SPRINGER
MEDITERRANEAN STYLE - STUCCO SIDING, ARCHES, COLUMNS & SPANISH TILE ROOF, LARGE TREES SHIELDS RESIDENCE FROM STREET



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