



DATE: September 3, 2014  
 AGENDA ITEM #3

**TO:** Design Review Commission  
**FROM:** Lily Lim, Assistant Planner  
**SUBJECT:** 13-SC-32, 958 Clinton Road

**RECOMMENDATION:**

Approve design review application 13-SC-32 subject to the findings and conditions

**PROJECT DESCRIPTION**

This project will rebuild an existing single story home into a two story structure. The project includes demolishing an existing detached garage and workshop, and adding 276 square feet to the first floor, 959 square feet to the second floor, and a 420-square-foot attached garage. The following table summarizes the project's technical details:

<b>GENERAL PLAN DESIGNATION:</b>	Single-Family, Residential
<b>ZONING:</b>	R1-10
<b>PARCEL SIZE:</b>	9,457 square feet
<b>MATERIALS:</b>	Metal roof/composition asphalt shingle roof, wood brackets, cement plaster, vinyl windows, and a cast iron door

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>COVERAGE:</b>	2,220 square feet	2,517 square feet	2,837 square feet
<b>FLOOR AREA:</b>			
First floor	2,044 square feet	2,341 square feet	
Second floor		959 square feet	
Total		3,300 square feet	3,310 square feet
<b>SETBACKS:</b>			
Front	25 feet	25 feet	25 feet
Rear	53 feet	49 feet	25 feet
Right side (1 <sup>st</sup> /2 <sup>nd</sup> )	6 feet	12 feet/19 feet	10 feet/17.5 feet
Left side (1 <sup>st</sup> /2 <sup>nd</sup> )	10 feet	11 feet/20 feet	10 feet/17.5 feet
<b>HEIGHT:</b>	13 feet	24 feet	27 feet

## **BACKGROUND**

### **Neighborhood Context**

The subject property is located in a Consistent Character Neighborhood, as defined in the City's Residential Design Guidelines. The houses in this neighborhood tend to have similar characteristics of style, setbacks, and streetscape character. A map identifying the surrounding properties is attached to the plans. The landscape along Clinton Road is varied with no distinct street tree pattern.

## **DISCUSSION**

### **Design Review**

In Consistent Character Neighborhoods, good neighbor design has design elements, materials, and scale found within the neighborhood. Proposed projects should "fit in" and lessen abrupt changes. The proposed second story and garage incorporate design elements found in neighboring homes. The integration of the front-facing, attached garage and hip roof plan is consistent with the garages in the surrounding neighborhood. A projecting entry element breaks up the front facade and is appropriate in scale. Consistent window design and architectural elements have been incorporated in order to ensure compatibility of the development with its design concept and character of adjacent buildings.

The addition is designed to minimize the bulk and mass as viewed from the street. Recessed wall elements in the front and increased side setbacks mitigate bulk and mass. The two adjacent homes have two stories and have low eave lines. The project achieves similar eave lines with low wall plates on both the first (nine feet) and second floor (eight feet). The lowered wall plates also keep the overall height of the structure four feet below the maximum height limit. A recessed first story porch is proposed between the dining room and master bedroom. The porch is approximately 10 feet deep and 18 feet wide and can be accessed from the family room.

The project uses high quality materials, wood eave brackets, cement plaster siding, vinyl windows, and a cast iron front door. Two elevations have been provided to show a standing seam metal roof and a composition shingle roof. Both materials are acceptable and compatible to the character of the neighborhood. The materials are compatible with the surrounding neighborhood and integral to the architectural design of the house.

### **Privacy**

The Design Guidelines suggest placing windows, decks and doors in such a way to minimize the privacy impacts to neighboring properties. The second story is situated towards the rear of the house and consists of a hallway, three bathrooms and three bedrooms. The three bedrooms have rear facing windows and have sill heights of two feet. The three bathroom windows face north, east, and west and have sill heights of three feet. By limiting the number of side facing windows

and incorporating smaller windows with passive uses, the project does not create unreasonable privacy concerns.

To mitigate privacy concerns from the bedroom windows, new privacy screening is proposed along the rear and side property lines behind the structure. Given the relatively flat lot, the proposed landscaping at the rear of the property will create a visual buffer for surrounding homes. Existing trees on the subject property, as well as on neighboring properties also provide additional coverage.

Additional privacy mitigations include a recessed first floor patio and a low first-story finish floor of one and a half feet. Overall, the applicant has provided mitigation measures to maintain a reasonable degree of privacy.

## **LANDSCAPING**

The project will preserve two large trees located in the front and rear of the property. New privacy screening is proposed along the property lines, behind the main structure. Currently, the garage apron extends to the side property line, a three-foot wide landscaping strip will replace existing hardscape per the City's Shoulder Paving Policy. To help soften the impact and view from the street, staff has included a condition to add one street tree to be located in the front yard near a side property line. With the preservation of the existing trees and new privacy screening, staff finds that the project meets the City's landscaping and street tree guidelines.

## **ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15301 of the Environmental Quality Act because it involves an addition to an existing single-family dwelling in a residential zone.

CC: David Wong Design, Architect/Designer  
Arthur and Amy Weng, Property Owners

### Attachments

- A. Application
- B. Neighborhood Compatibility Worksheet
- C. Maps

## FINDINGS

13-SC-32 – 958 Clinton Road

With regard to the two-story structure, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed structure complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the propose structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

## CONDITIONS

13-SC-32 – 958 Clinton Road

1. The approval is based on the plans received on August 26, 2014 and the written application materials provide by the applicant, except as be modified by these conditions.
2. Obtain an encroachment permit issued from the Engineering Division prior to doing any work within the public street right-of-way.
3. Provide one street tree, minimum 15-gallon in size, Category I or II, at or near the front property line.
4. The applicant/owner agrees to indemnify, defend, protect, and hold City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project.
5. The existing 48-inch tree in the rear yard shall be protected under the application and cannot be removed without a tree removal permit from the Community Development Director.
6. **Prior to building permit submittal, the plans shall include:**
  - a. The conditions of approval shall be incorporated into the title page of the plans;
  - b. Verification that all new additions and altered square footage will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from a Qualified Green Building Professional;
  - c. The measures to comply with the New Development and Construction and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc);
  - d. Fire sprinklers to be installed pursuant to Section 12.10 of the Municipal Code;
  - e. The location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches should avoid the driplines of all protected trees; and
  - f. The location of any air conditioning units on the site plan and the manufacturer's sound rating for each unit.

7. **Prior to final inspection:**

- a. All front yard landscaping and privacy screening trees shall be maintained and/or installed as required by the Planning Division; and
- b. Submit verification that the addition was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).

# ATTACHMENT A



## CITY OF LOS ALTOS GENERAL APPLICATION

Type of Review Requested: *(Check all boxes that apply)*

Permit # 1105920

<input type="checkbox"/>	One-Story Design Review	<input type="checkbox"/>	Sign Review	<input type="checkbox"/>	Multiple-Family Review
<input checked="" type="checkbox"/>	Two-Story Design Review	<input type="checkbox"/>	Sidewalk Display Permit	<input type="checkbox"/>	Rezoning
<input type="checkbox"/>	Variance(s)	<input type="checkbox"/>	Use Permit	<input type="checkbox"/>	R1-S Overlay
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Tenant Improvement	<input type="checkbox"/>	General Plan/Code Amendment
<input type="checkbox"/>	Tentative Map/Division of Land	<input type="checkbox"/>	Preliminary Project Review	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Subdivision Map Review	<input type="checkbox"/>	Commercial Design Review	<input type="checkbox"/>	Other:

Project Address/Location: 958 CLINTON RD. LOS ALTOS, CA 94024  
 Project Proposal/Use: Residential  
 Current Use of Property: Residential  
 Assessor Parcel Number(s) 189-13-034-00 Site Area: 9440  
 New Sq. Ft.: 1216.12 Remodeled Sq. Ft.: 1645 Existing Sq. Ft. to Remain: 1645  
 Total Existing Sq. Ft.: 1645 Total Proposed Sq. Ft. (including basement): 2861.12

Applicant's Name: HUI-FANG CHANG  
 Home Telephone #: 650-967-2636 Business Telephone #: \_\_\_\_\_  
 Mailing Address: 958 CLINTON RD.  
 City/State/Zip Code: LOS ALTOS, CA 94024

Property Owner's Name: KUO-YIN WENG & HUI-FANG CHANG  
 Home Telephone #: 650-967-2636 Business Telephone #: \_\_\_\_\_  
 Mailing Address: 958 CLINTON RD.  
 City/State/Zip Code: LOS ALTOS, CA 94024

Architect/Designer's Name: CHIA-CHING LING Telephone #: 510-623-0681

\*\*\* If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. \*\*\*



# ATTACHMENT B



City of Los Altos

Planning Division

(650) 947-2750

[Planning@losaltosca.gov](mailto:Planning@losaltosca.gov)

## NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1<sup>st</sup> application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 958 CLINTON RD, LOS ALTOS, CA 94024  
Scope of Project: Addition or Remodel  or New Home   
Age of existing home if this project is to be an addition or remodel? 63 yrs.  
Is the existing house listed on the City's Historic Resources Inventory? No

Address: 958 CLINTON RD.  
Date: 11/22/13

### What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

### Streetscape

#### 1. Typical neighborhood lot size\*:

Lot area: 9440 square feet  
Lot dimensions: Length 118 feet  
Width 80 feet

If your lot is significantly different than those in your neighborhood, then note its: area \_\_\_\_\_, length \_\_\_\_\_, and width \_\_\_\_\_.

#### 2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? 25'  
What % of the front facing walls of the neighborhood homes are at the front setback 100 %  
Existing front setback for house on left 25' ft./on right 25 ft.  
Do the front setbacks of adjacent houses line up? Yes

#### 3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood\* only on your street (count for each type)

Garage facing front projecting from front of house face 8  
Garage facing front recessed from front of house face 0  
Garage in back yard 1  
Garage facing the side 0  
Number of 1-car garages 1; 2-car garages 8; 3-car garages 0

Address: 958 CLINTON RD.  
Date: 11/22/13

**4. Single or Two-Story Homes:**

What % of the homes in your neighborhood\* are:

One-story 50

Two-story 50

**5. Roof heights and shapes:**

Is the overall height of house ridgelines generally the same in your neighborhood\*? Yes

Are there mostly hip X, gable style     , or other style      roofs\*?

Do the roof forms appear simple X or complex     ?

Do the houses share generally the same eave height Yes?

**6. Exterior Materials:** (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood\*?

X wood shingle X stucco X board & batten      clapboard  
     tile      stone      brick      combination of one or more materials  
(if so, describe)     

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

asphalt shingle

If no consistency then explain:     

**7. Architectural Style:** (Appendix C, Design Guidelines)

Does your neighborhood\* have a consistent identifiable architectural style?

YES  NO

Type? X Ranch      Shingle      Tudor      Mediterranean/Spanish  
     Contemporary      Colonial X Bungalow      Other

Address: 958 CLINTON RD.

Date: 1/22/13

8. **Lot Slope:** (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? NO

What is the direction of your slope? (relative to the street)

Toward Street

Is your slope higher \_\_\_\_\_ lower \_\_\_\_\_ same X in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. **Landscaping:**

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

NO

How visible are your house and other houses from the street or back neighbor's property?

Partial visible from street because of the tree  
Limited visibility from back neighbor because of the oak tree.

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

NO

10. **Width of Street:**

What is the width of the roadway paving on your street in feet? 15'

Is there a parking area on the street or in the shoulder area? Yes

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? gravel

Address: 958 CLINTON  
Date: 11/22/13

**11. What characteristics make this neighborhood\* cohesive?**

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

hip roof and stucco wall  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**General Study**

- A. Have major visible streetscape changes occurred in your neighborhood?  
 YES  NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?  
 YES  NO
- C. Do the lots in your neighborhood appear to be the same size?  
 YES  NO
- D. Do the lot widths appear to be consistent in the neighborhood?  
 YES  NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?  
 YES  NO
- F. Do you have active CCR's in your neighborhood? (p.36 Building Guide)  
 YES  NO
- G. Do the houses appear to be of similar size as viewed from the street?  
 YES  NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?  
 YES  NO

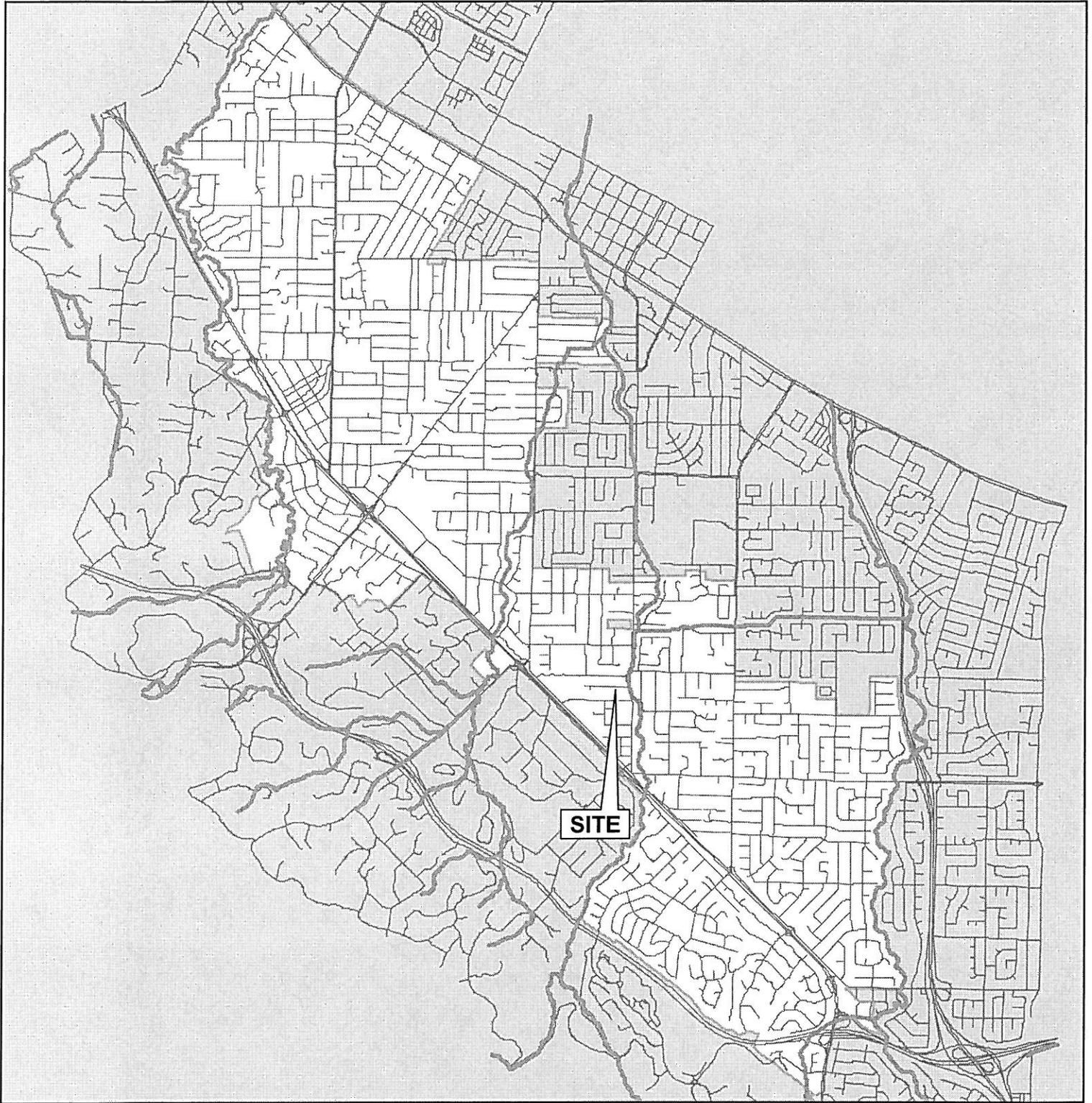
Address: 958 CLINTON RD.  
 Date: 1/22/13

**Summary Table**

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
976 CLINTON	25'		Front	2		stucco	Simple
966 CLINTON	25'		Front	2		stucco	Simple
948 CLINTON	25'		Front	2		stucco	Simple
938 CLINTON	25'		Front	2		stucco	Simple
977 CLINTON	25'		Front	1		board	Simple
967 CLINTON	25'		backyard	1		board	Simple
959 CLINTON	25'		Front	1		stucco	Simple
949 CLINTON	25'		Front	1		stucco	Simple
939 CLINTON	25'		Front	1		board	Simple
961 Manor Way	25'		Front	2		stucco	complex

# AREA MAP



## CITY OF LOS ALTOS

**APPLICATION:** 13-SC-32  
**APPLICANT:** Hui-Fang Chang and Kuo-Yin Weng  
**SITE ADDRESS:** 958 Clinton Road

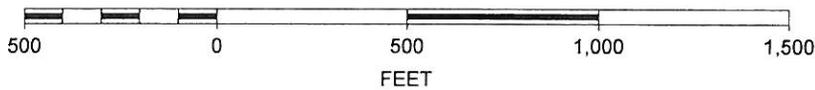


Not to Scale

# VICINITY MAP



SCALE 1 : 6,000



**CITY OF LOS ALTOS**

**APPLICATION:** 13-SC-32  
**APPLICANT:** Hui-Fang Chang and Kuo-Yin Weng  
**SITE ADDRESS:** 958 Clinton Road