

EXISTING SITE AND ROOF PLAN

SCALE: 1/8" = 1'-0"

PROJECT DATA			
ZONING COMPLIANCE:			
LOT COVERAGE:	EXISTING 2,294 SF	PROPOSED 2,454 SF	ALLOWED / REQUIRED 3,660.6 SF (90%)
FLOOR AREA:	1 st - 2,294 SF 2nd - 0 SF Total - 2,294 SF (19%)	1 st - 2,454 SF 2nd - 737 SF Total - 3,191 SF (26%)	3,970.2 SF Lot SF - 11,000(x.1) + 3,850 (32.5%)
SETBACKS:			
1st FLOOR			
FRONT	27'-0"	27'-9"	25'-0"
REAR	73'-10"	73'-10"	25'-0"
RIGHT SIDE	7'-3.5"	7'-3.5"	10'-0"
LEFT SIDE	10'-0.5"	10'-0.5"	10'-0"
2nd FLOOR			
FRONT	N/A	28'-1"	25'-0"
REAR	N/A	78'-1.5"	25'-0"
RIGHT SIDE	N/A	18'-3.5"	17'-6"
LEFT SIDE	N/A	40'-1"	17'-6"
HEIGHT:	14'-7.5"	22'-5"	27'-0"
SQUARE FOOTAGE BREAKDOWN:			
	EXISTING	PROPOSED	TOTAL PROPOSED
HABITABLE LIVING AREA:	1,918 SF	897 SF	2,815 SF
NON-HABITABLE LIVING AREA	376 SF	0 SF	376 SF
LOT CALCULATIONS:			
NET LOT AREA:			12,202 SF
FRONT YARD HARDSCAPE AREA:			1,771 SF (18%)
LANDSCAPE BREAKDOWN:	Total hardscape area (existing & proposed):		1,771 SF
	Existing Softscape (undisturbed) area:		7,977 SF
	New Softscape area:		0 SF

GENERAL NOTES

- THE WORK PROVIDED BY THE GENERAL CONTRACTOR SHALL CONSIST OF ALL LABOR, MATERIAL, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPROVED CALIFORNIA BUILDING CODE AND ANY OTHER LOCAL GOVERNING CODES AND ORDINANCES.
- THE PLANS INDICATE THE GENERAL EXTENT OF CONSTRUCTION NECESSARY FOR THE WORK, BUT NOT INTENDED TO BE ALL INCLUSIVE. ALL WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS SHALL BE INCLUDED, REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES. THE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR CONFLICTS IN THESE CONSTRUCTION DOCUMENTS. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSION AND SITE CONDITIONS. EACH SUB-CONTRACTOR SHALL INSPECT AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY SEEN BY INSPECTION.
- PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF ANY PORTION OF THE BUILDING AFFECTED BY THE WORK.
- PROTECT ALL FINISHES WHERE THEY CONTACT THE WORK OF OTHER TRADES AND WHEN WET WHEATHER IS ANTICIPATED.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT DIRT OR DEBRIS FROM AFFECTING FINISHED AREAS IN OR OUTSIDE THE JOB.

NOTE TO INSPECTOR

- PRIOR TO FINAL INSPECTION, PROVIDE VERIFICATION THAT THE HOUSE IS DESIGNED WITH THE CAL GREEN REGULATIONS.

KEY NOTES	DATA
<ol style="list-style-type: none"> EXISTING ELECTRICAL PANEL W/ OVERHEAD SERVICE (E) OVERHEAD ELEC. SERVICE FROM POWER POLE. (E) GAS METER DASHED LINE INDICATES PROPOSED ADDITION EXISTING SEWER CLEANOUT HATCHED AREA INDICATES 2ND FLOOR ROOF EXISTING WATER METER LANDSCAPE AREAS PAVED WALKWAYS DAY LIGHT PLANE REFERENCE ELEVATIONS 	Zone: R1-10 Lot Size: 12,202 SF APN: 318-22-028 Number of Units: 1 Number of Stories: 2 Historical Zone: Not Applicable Construction Type: V-B, wood frame Fire Sprinklers: Proposed Occupancy Group: R3-U Existing Parking Spaces: 2 covered Daylight Plane: 11" @ side w/ 25deg. angle

TREE LEGEND

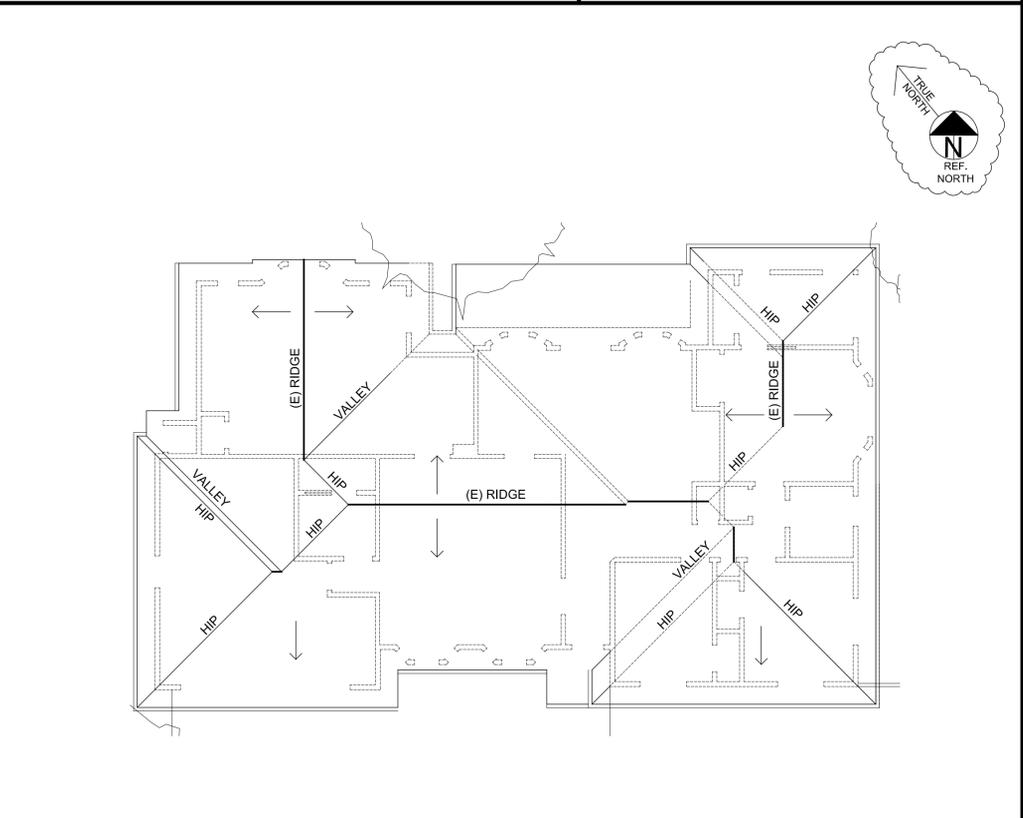
(A) TREE #1, DEODAR CEDAR	(H) TREE #8, FERN PINE
(B) TREE #2, COAST LIVE OAK	(I) TREE #9, QUEEN PALM
(C) TREE #3, COAST LIVE OAK	(J) TREE #10, QUEEN PALM
(D) TREE #4, CITRUS - ORANGE	(K) TREE #11, QUEEN PALM
(E) TREE #5, TOBIRA	(L) TREE #12, DEODAR CEDAR
(F) TREE #6, CALIFORNIA BUCKEYE	(M) TREE #13, DEODAR CEDAR
(G) TREE #7, WILD PLUM	(N) TREE #14, DEODAR CEDAR



SHEET LEGEND

A0.00	SITE/ ROOF PLAN, DEMO PLAN, PROJECT DATA, KEY NOTES, CODES, AND VICINITY MAP
A1.00	GRADING AND DRAINAGE PLAN, KEY NOTES
A2.00	FLOOR PLANS
A3.00	EXISTING, PROPOSED EXTERIOR ELEVATIONS, SECTION - A.
A4.00	EXTERIOR ELEVATION, ROOF PLAN
A5.00	AREA LINE DIAGRAM, 3D STUDIES

- CODES**
- 2010 CALIFORNIA ENERGY CODE
 - 2010 CALIFORNIA RESIDENTIAL CODE (2009 INTERNATIONAL RESIDENTIAL CODE)
 - 2010 CALIFORNIA ADMINISTRATIVE CODE
 - 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE
 - 2010 CALIFORNIA MECHANICAL CODE (2009 UNIFORM MECHANICAL CODE)
 - 2010 CALIFORNIA PLUMBING CODE (2009 UNIFORM PLUMBING CODE)
 - 2010 CALIFORNIA ELECTRICAL CODE (2008 NATIONAL ELECTRICAL CODE)
 - 2010 CALIFORNIA FIRE CODE (2009 INTERNATIONAL FIRE CODE)
 - TITLE 24, PART 6, CALIFORNIA ENERGY CODE (2008 EDITION)
 - TITLE 24 HANDICAPPED ACCESSIBILITY REGULATIONS (2009 EDITION)



EXISTING ROOF PLAN

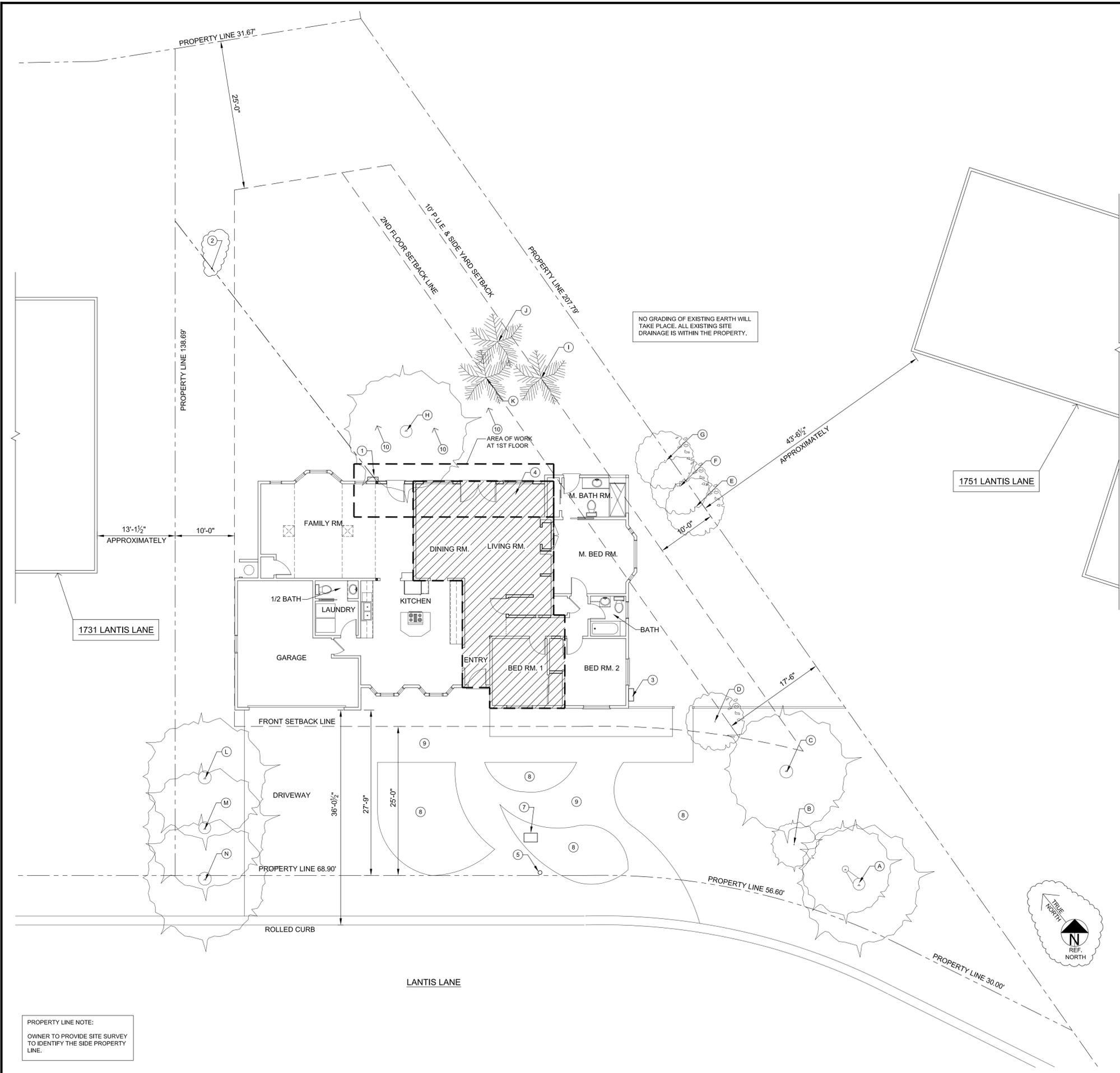
SCALE: 1/8" = 1'-0"

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ADDITION AND MODIFICATIONS TO THE HOME OF:
JEFF & LARA WALDMAN
 1741 LANTIS LANE, LOS ALTOS, CA 94022

SITE / ROOF PLAN
 PROJECT DATA
 DEMOLITION PLAN
 VICINITY MAP

JOB NO. 1741_13 DRAWN BY LV
 DATE: MAY 20, 2014
 REVISIONS
 SHEET NO. **A0.00**
 OF: 2



GRADING AND DRAINAGE PLAN

SCALE: 1/8" = 1'-0"

PROPERTY LINE NOTE:
OWNER TO PROVIDE SITE SURVEY
TO IDENTIFY THE SIDE PROPERTY
LINE.

STORMWATER DRAINAGE PLAN

- EROSION CONTROL (KEEPING THE DIRT IN PLACE) MINIMIZING THE IMPACT OF CONSTRUCTION
1. MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES AND SOIL.
 2. PHASE CONSTRUCTION ACTIVITY.
 3. CONTROL STORMWATER FLOWING ONTO AND THROUGH THE PROJECT.
 4. STABILIZE SOILS PROMPTLY.

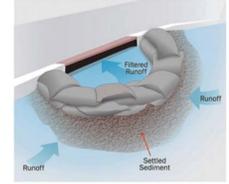


Figure 11. Illustration of a storm drain inlet with rock-filled bags filtering stormwater.

- SEDIMENT CONTROLS (THE 2ND LINE OF DEFENSE)
5. PROTECT STORM DRAIN INLETS.
 6. ESTABLISH PERIMETER CONTROLS.
 7. RETAIN SEDIMENT ON-SITE AND CONTROL DEWATERING PRACTICES.
 8. ESTABLISH STABILIZED CONSTRUCTION EXITS.
 9. INSPECT AND MAINTAIN CONTROLS.

CAL GREEN NOTES

- A. Automatic Irrigation systems controllers installed at the time of final inspection shall be weather-based (4.304.1)
- B. Protect annular spaces around pipes, electric cables, conduits or other openings at exterior walls against the passage of rodents (4.406.1)
- C. Cover duct openings and other related air distribution component openings during construction (4.504.1)
- D. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits (4.504.2.1)
- E. Paints, stains and other coatings shall be compliant with VOC limits (4.504.2.2)
- F. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds (4.504.2.3) Verification of compliance shall be provided
- G. A minimum of 50% of the non-hazardous construction and demolition waste generated at the site shall be diverted to an off-site recycle, diversion, or salvage facility. (4.408)
- H. Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials. (4.504.2.4)
- I. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards 4.504.5
- J. HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognize training or certification program (702.1)
- K. Check moisture content of building materials used in wall and floor framing before enclosure (4.505.3)
- L. Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.

KEY NOTES

- ① EXISTING ELECTRICAL PANEL W/ OVERHEAD SERVICE
- ② (E) OVERHEAD ELEC. SERVICE FROM POWER POLE.
- ③ (E) GAS METER
- ④ DASHED LINE & HATCHED AREA INDICATES PROPOSED 2ND FLOOR ADDITION
- ⑤ EXISTING SEWER CLEANOUT
- ⑥ HATCHED AREA INDICATES 2ND FLOOR ROOF
- ⑦ EXISTING WATER METER
- ⑧ LANDSCAPE AREAS
- ⑨ PAVED WALKWAYS
- ⑩ 5% LOT DRAINAGE AWAY FROM BUILDING FOR A MIN. OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATE METHOD. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MIN. OF 2%.

TREE LEGEND

- | | |
|---------------------------------|----------------------------|
| (A) TREE #1, DEODAR CEDAR | (H) TREE #8, FERN PINE |
| (B) TREE #2, COAST LIVE OAK | (I) TREE #9, QUEEN PALM |
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ADDITION AND MODIFICATIONS TO THE HOME OF:
JEFF & LARA WALDMAN
1741 LANTIS LANE, LOS ALTOS, CA 94022

GRADING & DRAINAGE PLAN
NOTES

JOB NO. 1741_13 DRAWN BY LV
DATE: MAY 20, 2014

REVISIONS

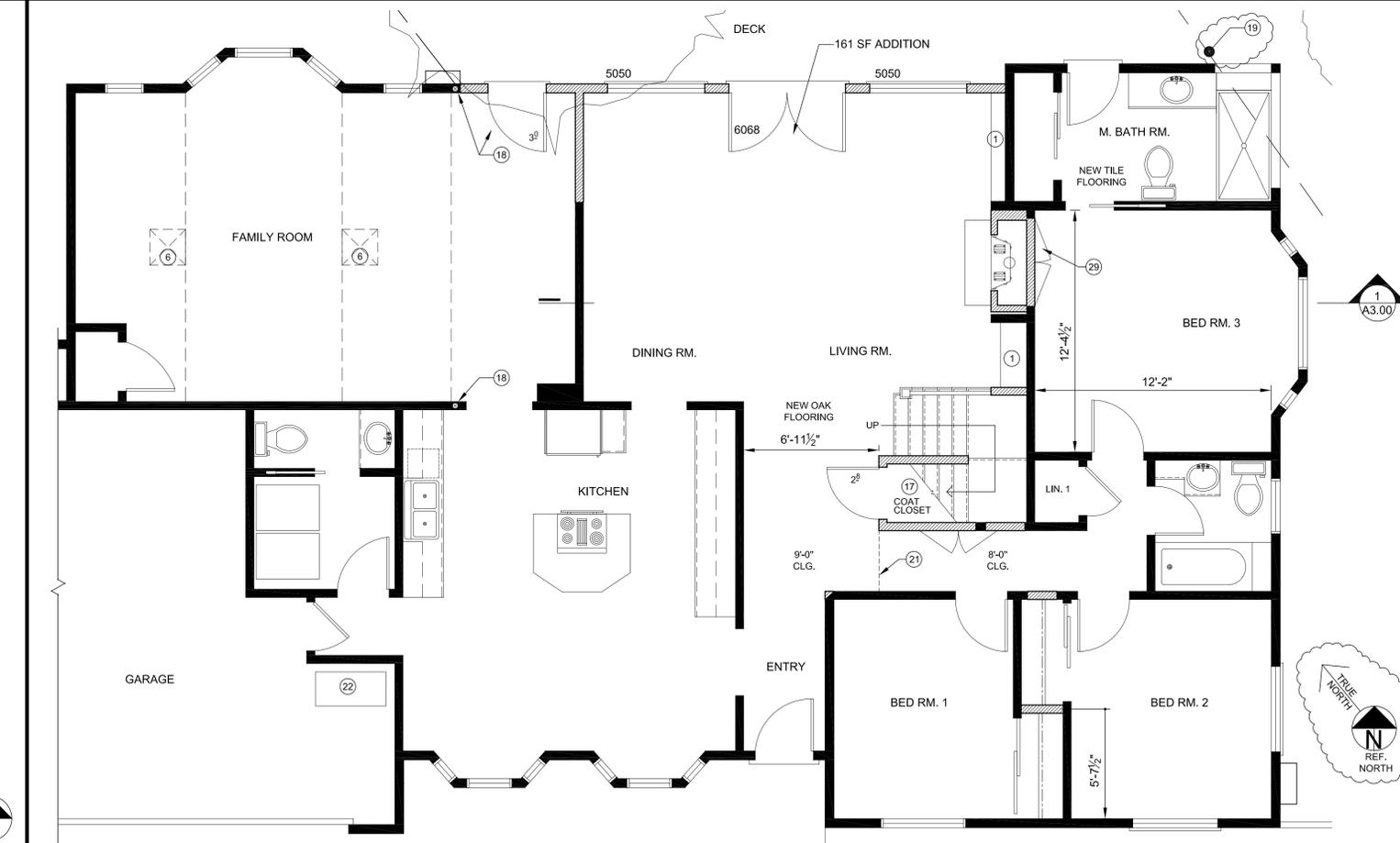
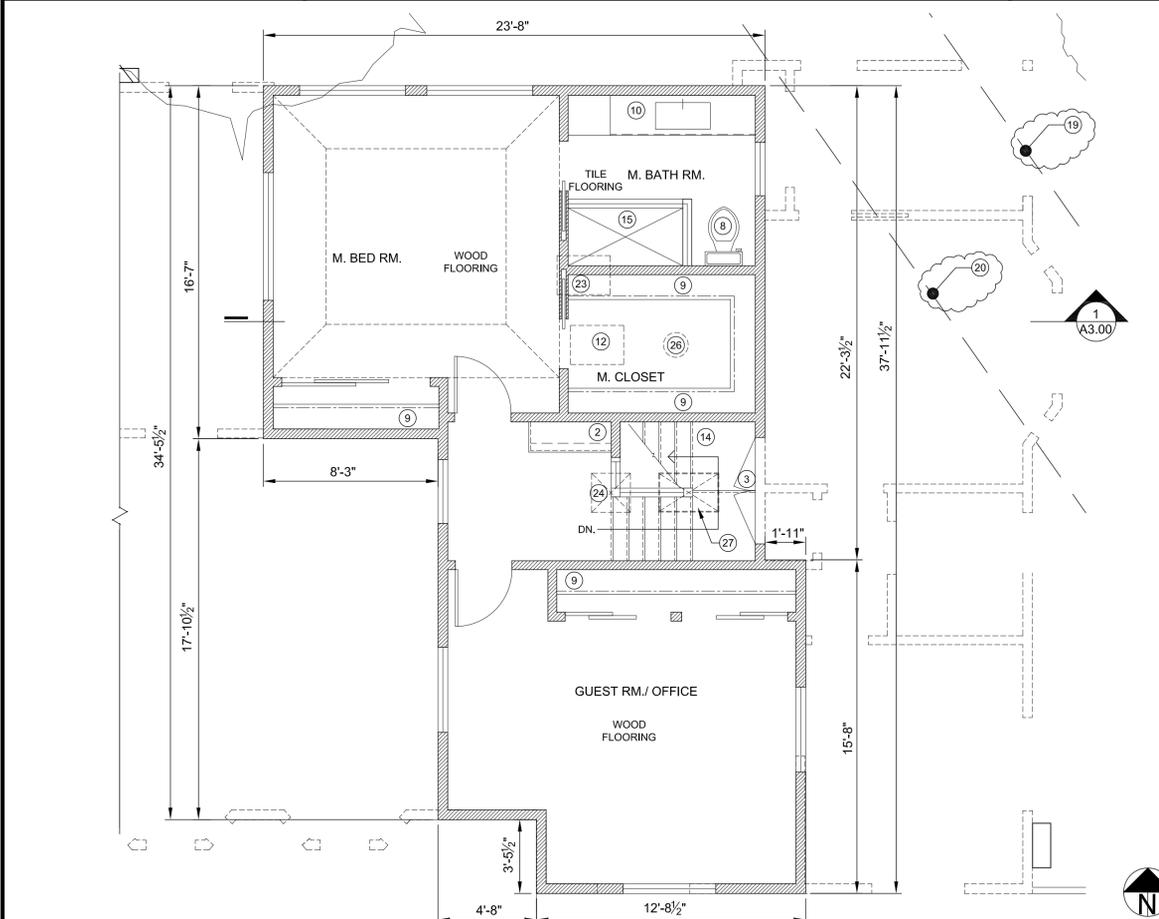
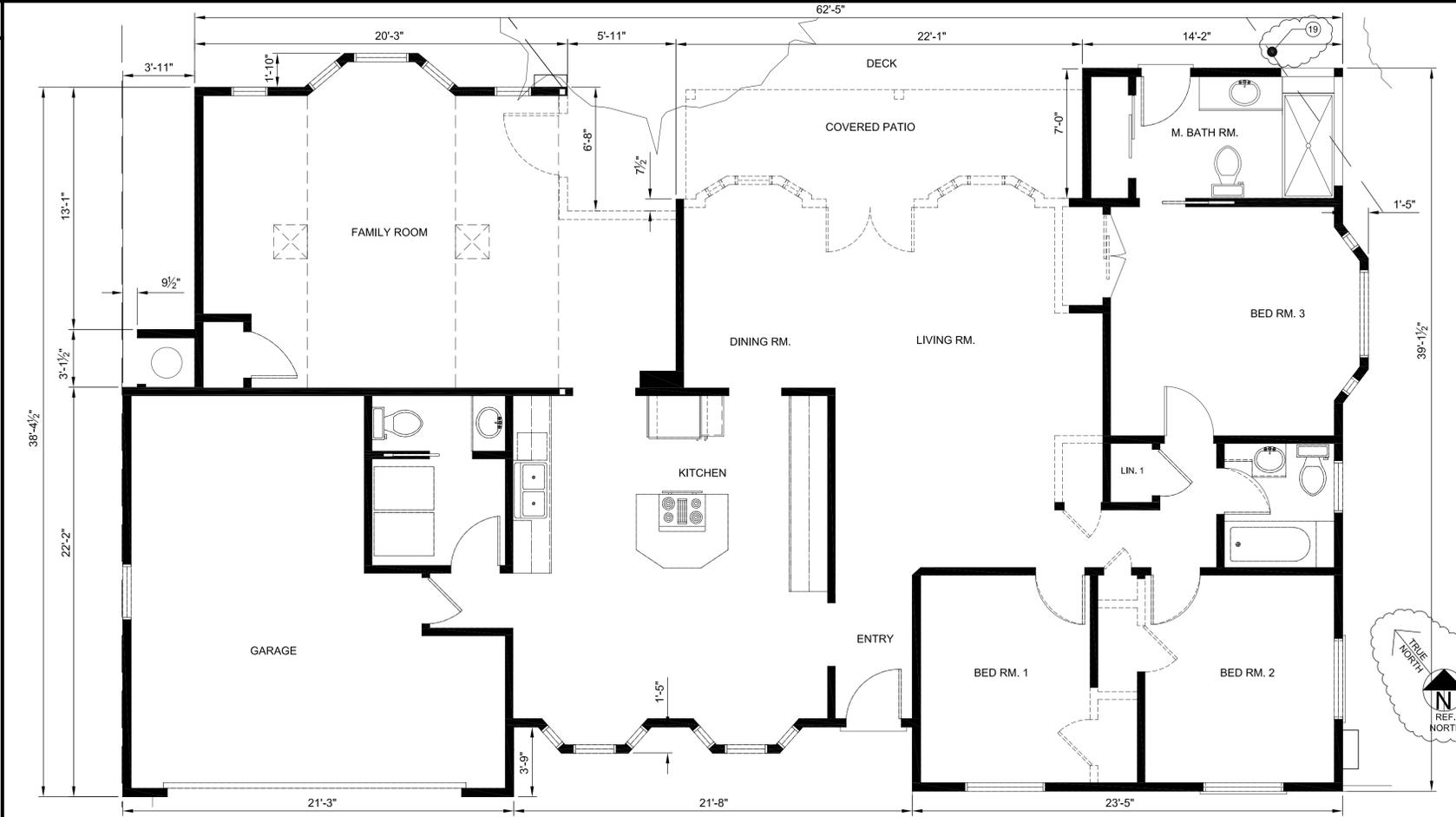
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OF: 2

WALL LEGEND

- NEW WALL
- EXISTING WALL
- REMOVE EXISTING WALL

KEY NOTES

- 1 OPEN SHELVING
- 2 BASE & UPPER CABINETS
- 3 DOORS TO ATTIC AREA
- 4 TALL STORAGE CABINET
- 5 TRENCH DRAIN, CURBLESS SHOWER
- 6 (2) NEW VELUX SKYLIGHTS FCM #2222 AT FAMILY RM.
- 7 OPTIONAL BUMP OUT AT KITCHEN WITH NEW POSTS AND BEAM.
- 8 WATER CLOSETS TO HAVE A MIN. CLEAR STALL SPACES OF 30" AND A MINIMUM CLEAR SPACE OF 24" IN FRONT AND 1.28 GALLONS PER FLUSH MAX.
- 9 (N) PAINTED WOOD SHELF W/ CLEATS & WHITE MTL. POLE, UNLESS OTHERWISE DIRECTED BY OWNER.
- 10 *MINI-RESTER* PRESSURE ABSORBING DEVICES, WILL BE LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES, THAT WILL ABSORB HIGH PRESSURE RESULTING FROM THE QUICK CLOSING OF QUICK-ACTING VALVES.
- 11 18"x24" MIN. UNDER-FLR. ACCESS THROUGH FLOOR AT CLOSET, TO UNDER FLOOR OF ADDITION AREA. COORDINATE LOCATION WITH FRAMING MEMBERS.
- 12 PROVIDE 22" MIN. BY 30" MIN. ATTIC ACCESS WITH PULLDOWN LADDER (OWNER APPROVED) TO SPACES WITH 30" CLEAR HEIGHT OR MORE. PROVIDE ACCESS OPENING THROUGH (E) ROOF AT CALIF. FRAMED AREA.
- 13 PROVIDE EXHAUST FANS (60 CFM MIN.) IN ALL BATHROOMS CONTAINING BATHTUBS & SHOWERS. RISERS ON STEPS SHALL NOT BE GREATER THAN 7.75" AND NO LESS THAN 4" HIGH. THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". PROVIDE 30" MIN. DEEP LANDING AT EXTERIOR ACCESS. IF DOOR SWING IS OVER LANDING PROVIDE 1/2" MAX. HEIGHT DIFFERENTIAL BETWEEN FIN. FLR. AND EXTERIOR LANDING.
- 14 SHOWER & TUB NOTES:
 - A. TEMP. GL. AT SHOWER ENCLOSURE, DOOR, AND ADJACENT WINDOWS. SHWR. DOOR SHALL NOT OPEN INTO THE SHOWER AND BE A MIN. 22" WIDE. GLASS COLOR AND FASTENERS TO BE DECIDED BY OWNER.
 - B. SHOWER SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
 - C. SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1024 SQUARE INCHES AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE.
 - D. PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYP. BACKING BD. SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2
- 15 ELECTRICAL/DATA NOTES: REFER TO SHEET A7 FOR PLAN
 - A. ALL NEW ALL NEW 125-VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
 - B. IN BATHROOMS ALL RECEPTACLES SHALL HAVE GFCI PROTECTION WITH AT LEAST ONE RECEPTACLE WITHIN 36" OF EACH SINK.
 - C. LIGHTS OVER TUB AND SHOWER SHALL BE LISTED FOR WET OR DAMP LOCATION.
 - D. CONNECT NEW EXT. LIGHT FIXTURES TO EXISTING LIGHTS AND SWITCHES.
 - E. ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED IN INSULATING CEILINGS APPROVED FOR ZERO-CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIR TIGHT.
 - F. CONTRACTOR TO COORDINATE PLACEMENT OF TV CABLE AND DATA WIRING WITH OWNER PRIOR TO INSULATION AND GYPSUM BOARD INSTALL.
 - G. ALL NEW HARDWIRED LIGHTING IN THE REMODELED PORTION MUST BE HIGH EFFICACY WITH THE FOLLOWING EXCEPTIONS: ALTERNATE OPTION IN ALL BATHROOMS: 1). MANUAL-ON OCCUPANCY SENSOR.
- 16 PROVIDE AND INSTALL 5/8" TYPE - X GYP.BD. ON ENTIRE LENGTH OF STAIRS.
- 17 NEW POST AND BEAM, PROVIDE NEW WOOD FLOORING TO MATCH.
- 18 FIRST FLOOR SIDE YARD SETBACK LINE
- 19 SECOND FLOOR SIDE YARD SETBACK LINE
- 20 CEILING HEIGHT TRANSITION FROM 9'-0" TO 8'-0"
- 21 NEW FIRST FLOOR FORCED AIR UNIT. PROVIDE UNDERFLOOR HEATING TO 1ST FLOOR ROOMS.
- 22 NEW 2ND FLOOR FORCED AIR UNIT TO BE LOCATED IN THE ATTIC. PROVIDE 30"x30"x30" CLEARANCE INFRONT OF THE UNIT. ROUTE CONDENSATE LINE OVER 1ST FLR. WNDW. & PROVIDE S.M. GLAV. PAN UNDER UNIT, & WORKMANS LIGHT.
- 23 PROVIDE AND INSTALL NEW WHOLE HOUSE FAN TO BE THERMOSTATICALLY CONTROLLED. PROVIDE OVERRIDE SWITCH.
- 24 PROVIDE AND INSTALL 14" RIGID TUBE VELUX SUN TUNNEL.
- 25 PROVIDE AND INSTALL #VCM2234 VELUX SKYLIGHT.
- 26 PROVIDE COFFERED CEILING TO MATCH (E) MASTER BEDROOM ON 1ST FLOOR.
- 27 MODIFY EXISTING BUILT-IN CABINETS TO INCLUDE THE NEW FIREPLACE UNIT.

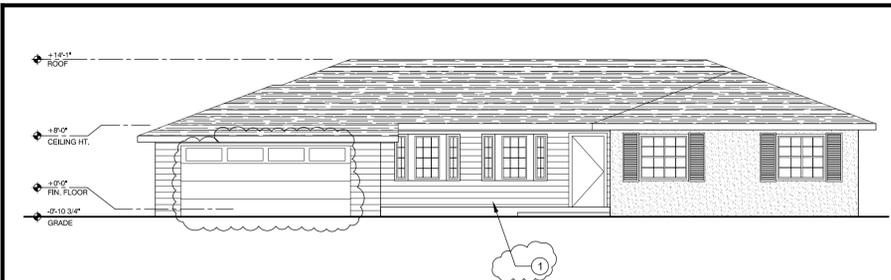


ADDITION AND MODIFICATIONS TO THE HOME OF:
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EXISTING DEMO. PLAN
 PROPOSED 1ST FLOOR PLANS

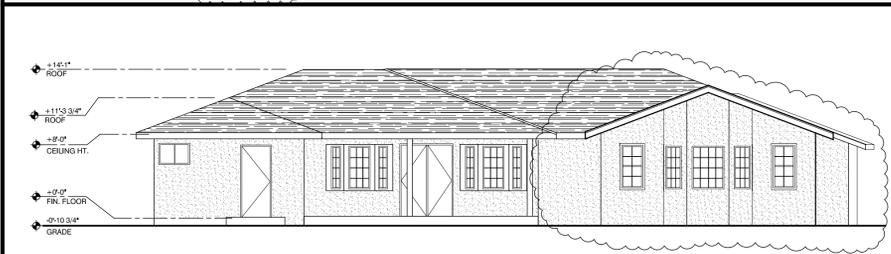
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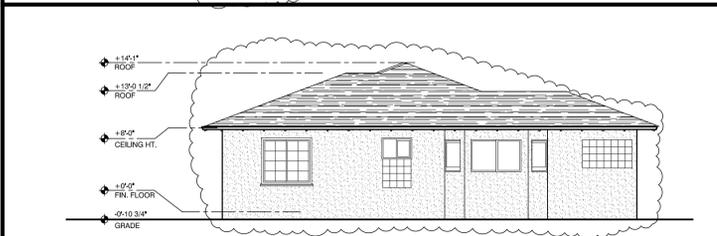
EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



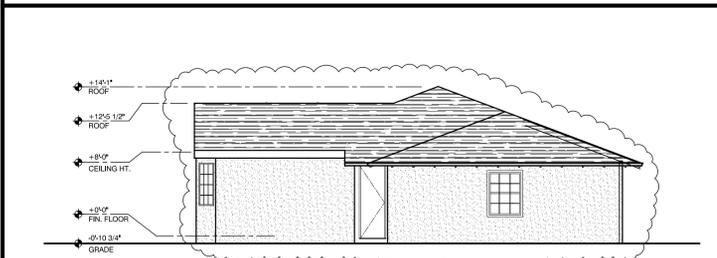
EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"

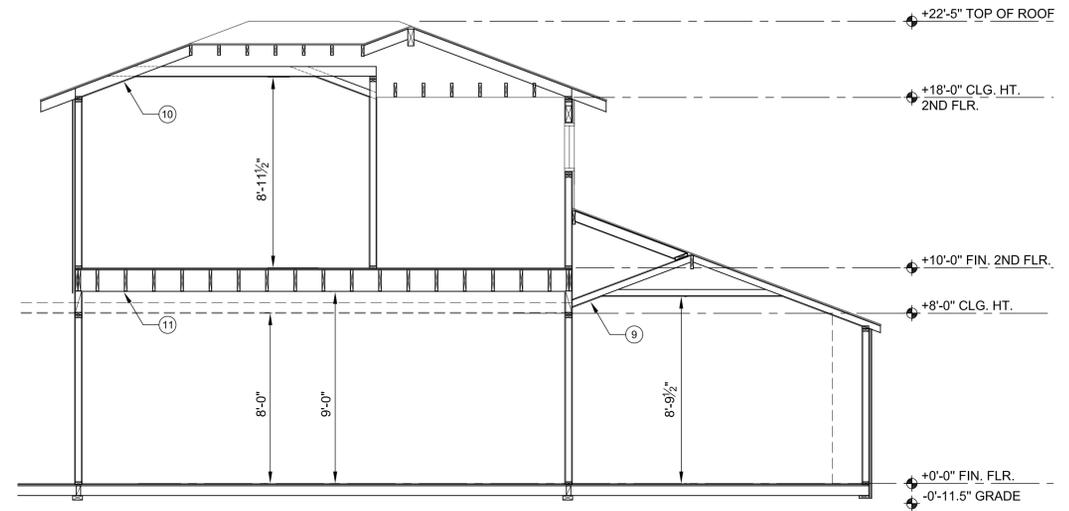


EXISTING WEST ELEVATION

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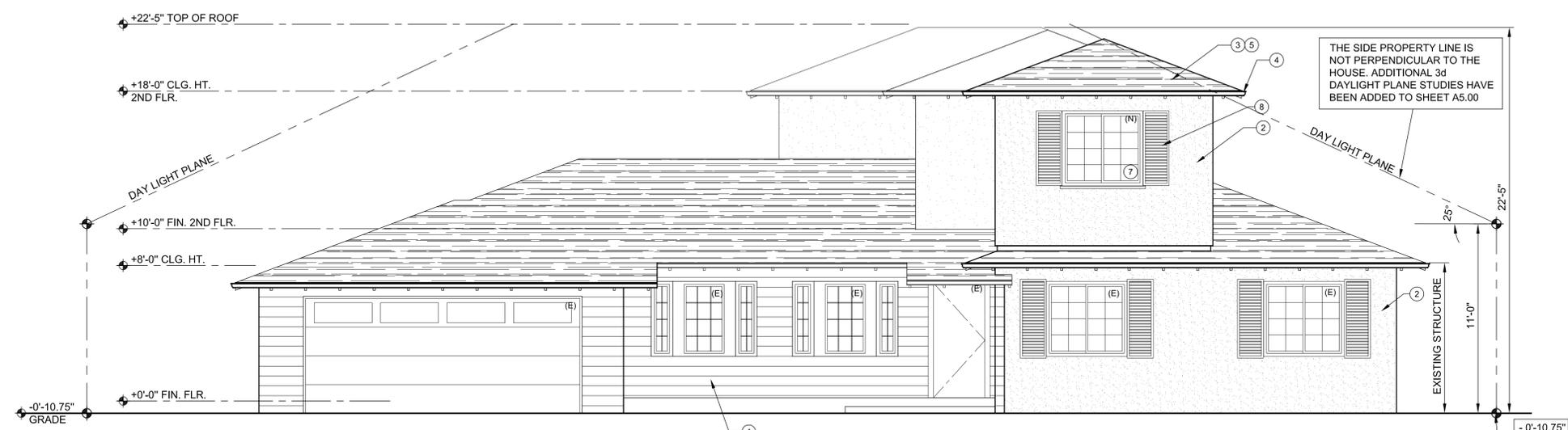
ELEVATION KEY NOTES

- 1 EXISTING PAINTED HORIZONTAL WOOD SIDING
- 2 CEMENT PLASTER SIDING, NEW AND EXISTING.
- 3 EXISTING COMPOSITION SHINGLE ROOF, NEW ROOFING TO MATCH EXISTING.
- 4 MTL. GUTTER AND DOWNSPOUT.
- 5 ROOF PITCH - 4.5:12 (EXISTING AND NEW)
- 6 SLOPE GRADE AWAY FROM STRUCTURE 2% MIN.
- 7 (N) VINYL., LOW-E, DUAL GLAZED WINDOWS, TO MATCH EXISTING.
- 8 (N) SHUTTERS TO MATCH EXISTING.
- 9 EXISTING COFFERED CEILING IN ROOM TO REMAIN.
- 10 NEW COFFERED CEILING IN ROOM TO MATCH (E).
- 11 RAISED CEILING IN LIVING AND DINING ROOM AREAS.



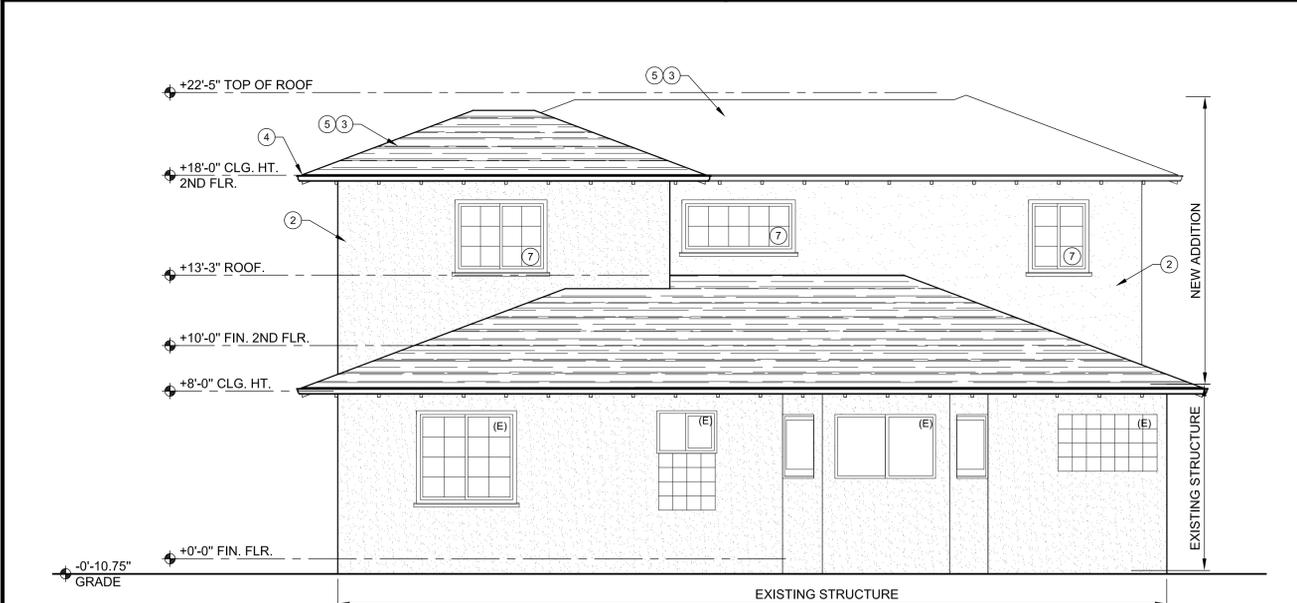
SECTION - 1

SCALE: 1/4" = 1'-0"



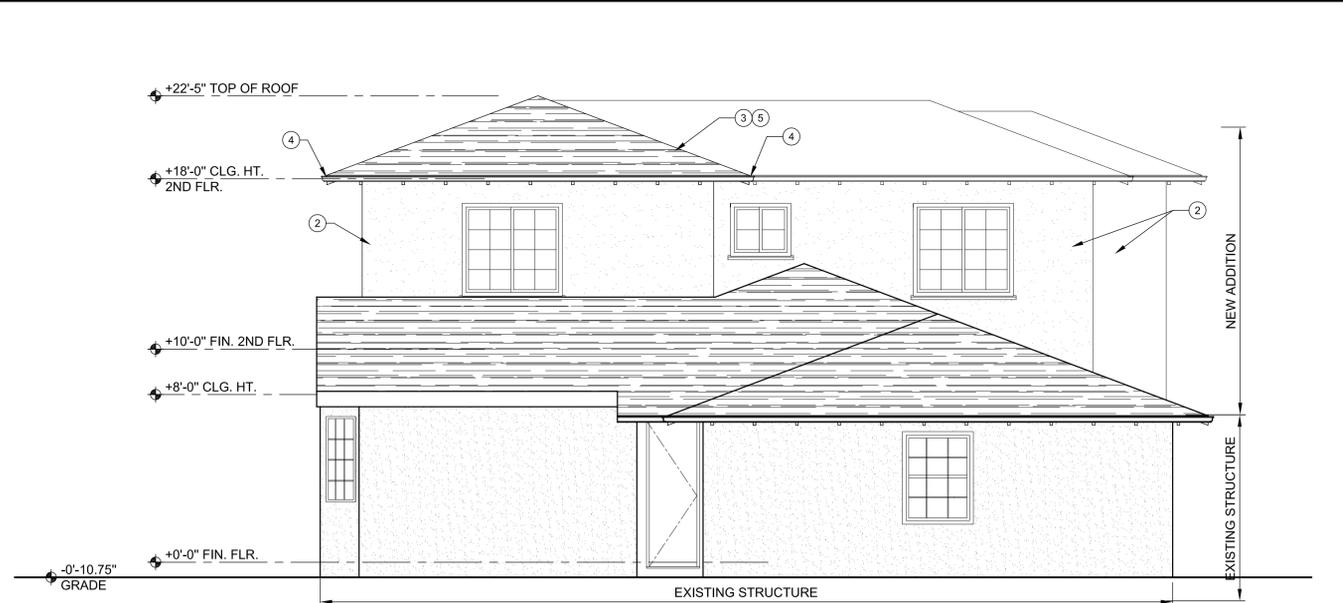
PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

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ADDITION AND MODIFICATIONS TO THE HOME OF:

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NEW WEST & NORTH ELEVATIONS
EXISTING ELEVATIONS
DETAILS

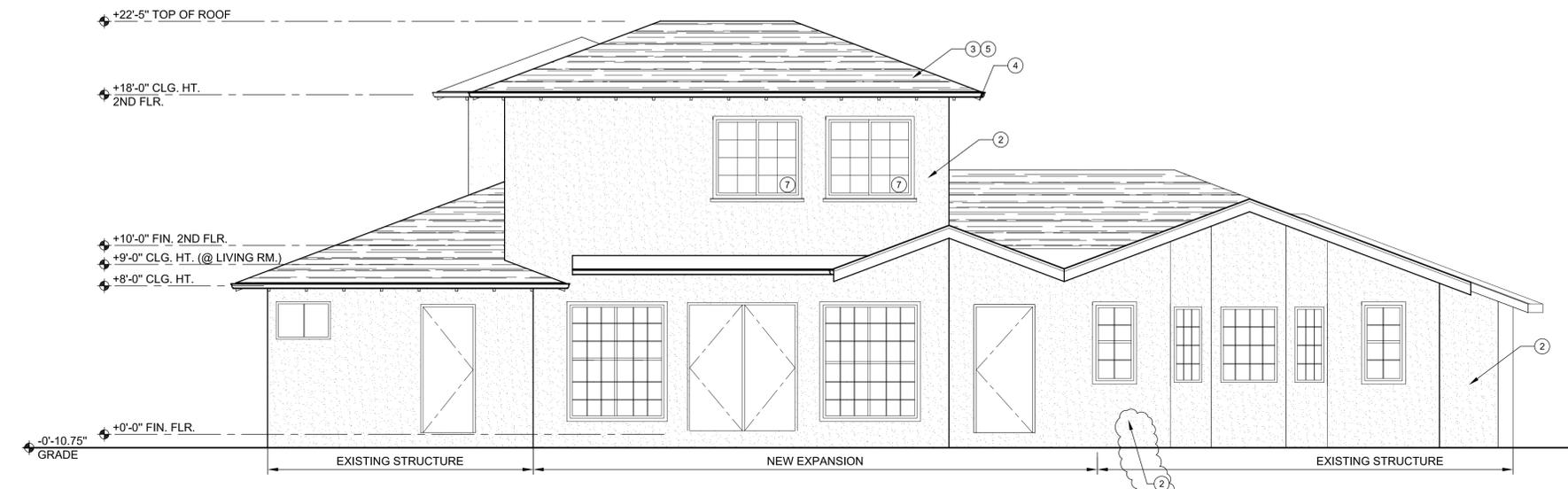
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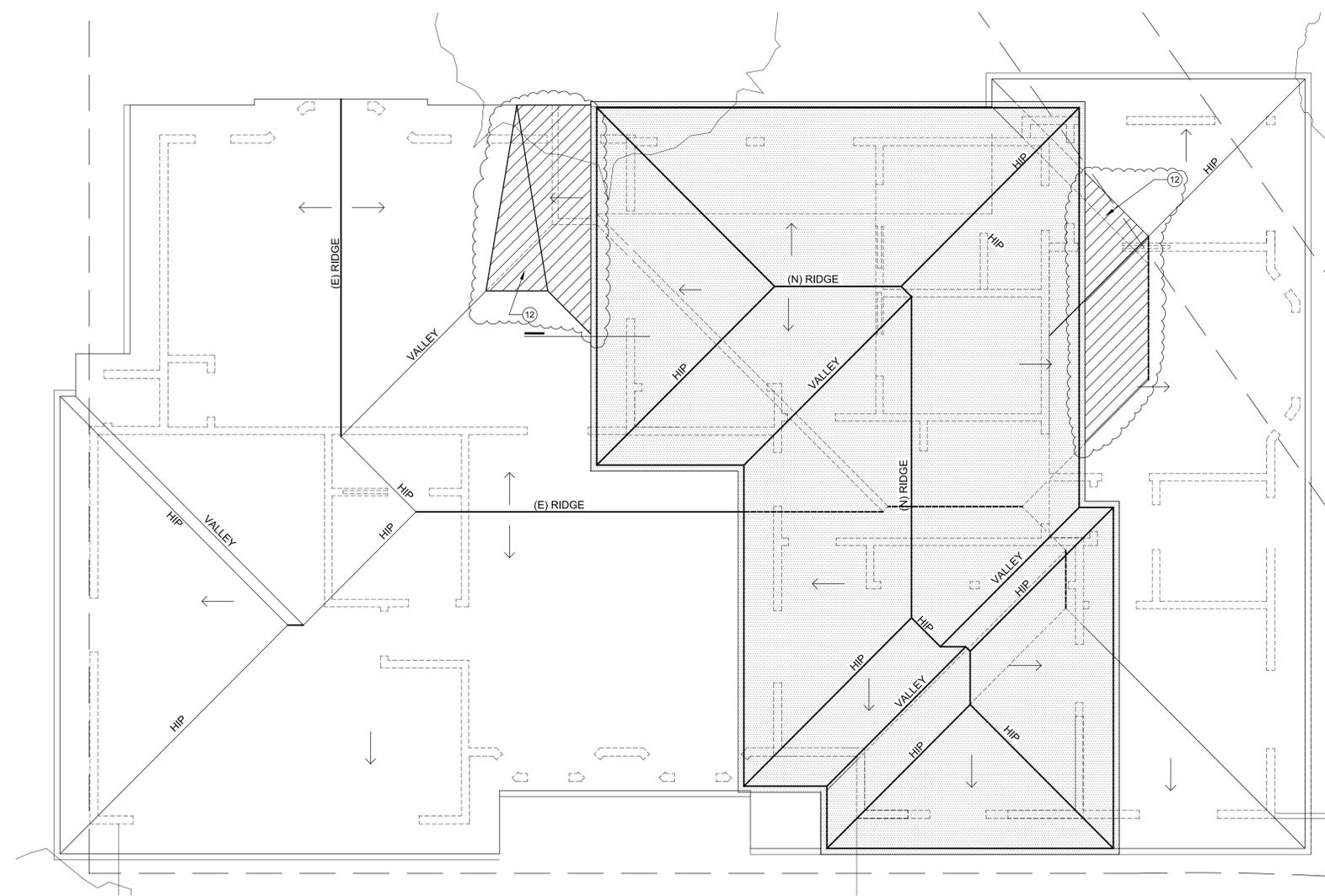
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- ⑨ EXISTING COFFERED CEILING IN ROOM TO REMAIN.
- ⑩ NEW COFFERED CEILING IN ROOM TO MATCH (E).
- ⑪ RAISED CEILING IN LIVING AND DINING ROOM AREAS.
- ⑫ HATCHED AREAS ON 1ST FLOOR ROOF INDICATE ALTERED ROOF FRAMING AS A RESULT OF THE NEW 2ND FLOOR ADDITION.



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

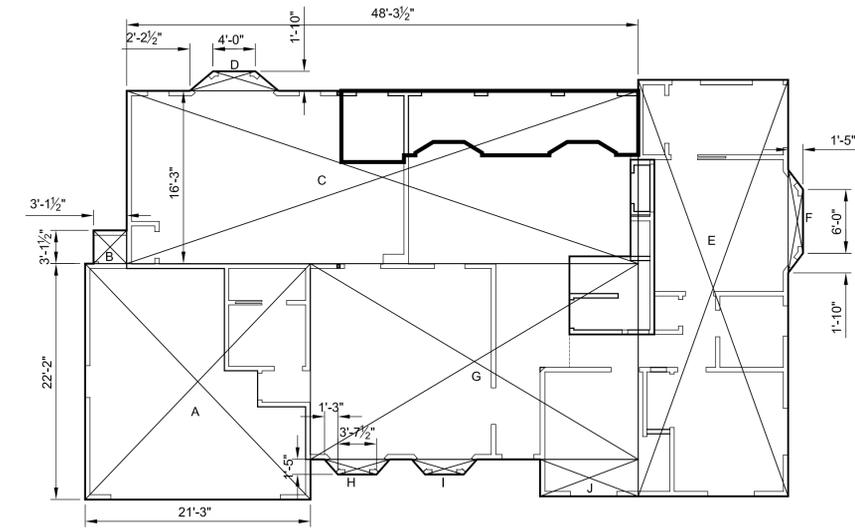
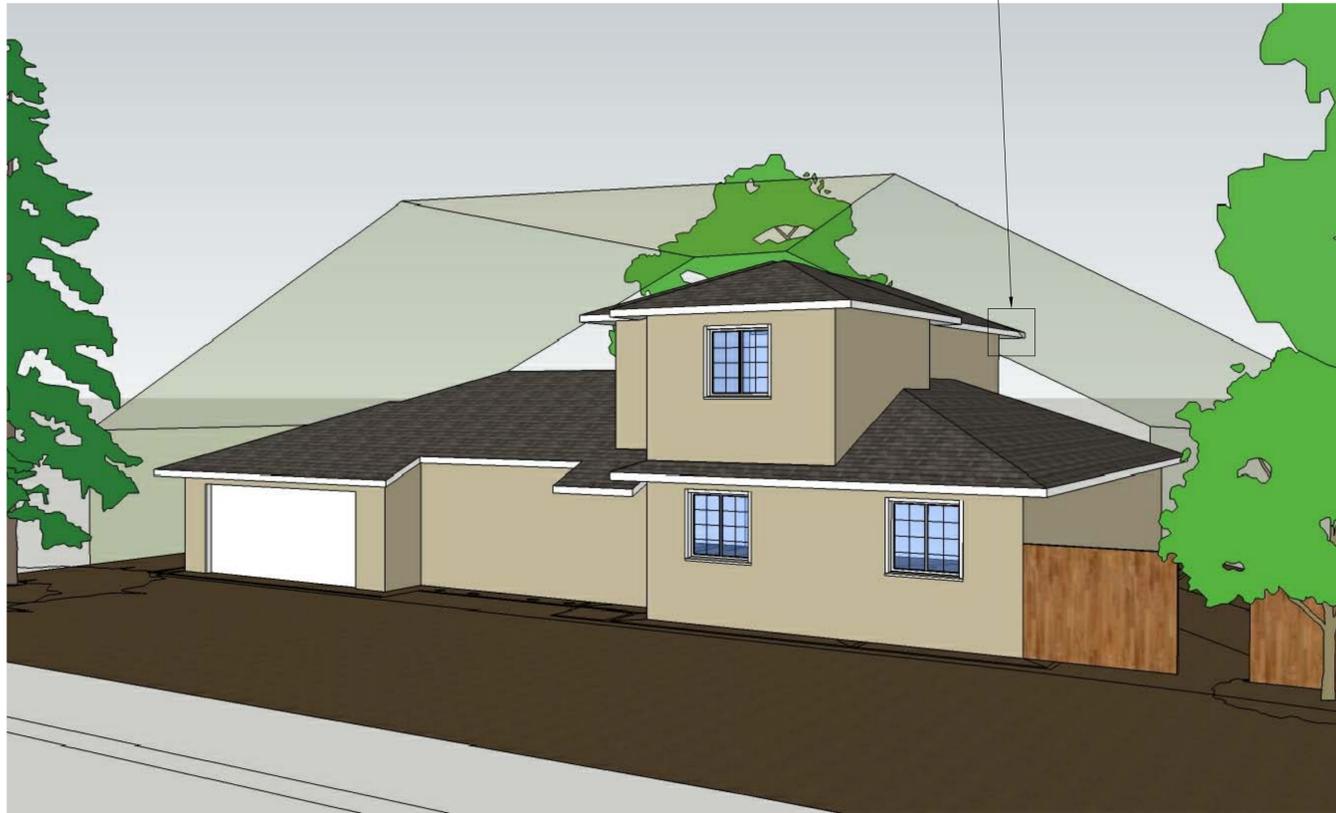
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NEW NORTH ELEVATION
 ROOF PLAN

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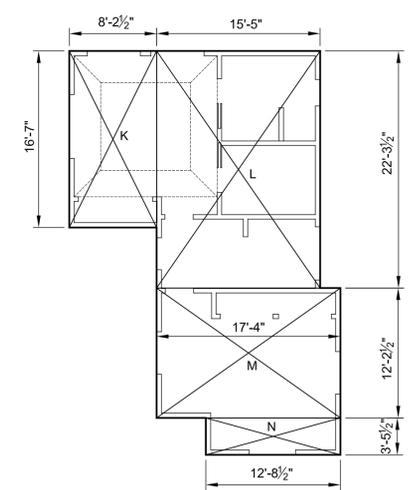
SHEET NO. **A4.00**
 OF: 8



PROPOSED 1st FLOOR PLAN

FLOOR AREA AND COVERAGE CALCULATIONS:

SECTION:	DIMENSIONS:	AREA:
A	(21'-3" x 22'-2")	471 SF
B	(3'-1" x 3'-1")	10 SF
C	(16'-3" x 48'-3.5")	783 SF
D	(4'-0" x 1'-10") (2'-2.5" x 1'-10")	11 SF
E	(21'-3" x 22'-2")	553 SF
F	(6'-0" x 1'-5") (1'-10" x 1'-5")	11 SF
G	(21'-3" x 22'-2")	569 SF
H	(3'-7.5" x 1'-5") (1'-3" x 1'-5")	7 SF
I	(3'-7.5" x 1'-5") (1'-3" x 1'-5")	7 SF
J	(21'-3" x 22'-2")	32 SF
1ST FLOOR SUBTOTAL =		2,454 SF
K	(8'-2.5" x 16'-7")	137 SF
L	(15'-5" x 22'-3.5")	344 SF
M	(17'-4" x 12'-2.5")	212 SF
N	(12'-8.5" x 3'-5.5")	44 SF
2ND FLOOR SUBTOTAL =		737 SF
1ST FLOOR SUBTOTAL =		2,454 SF
TOTAL AREA =		3,191 SF



PROPOSED 2nd FLOOR PLAN

