

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA RESIDENTIAL CODE, 2013 CALIFORNIA ELECTRICAL CODE, 2013 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA PLUMBING CODE, 2013 CALIFORNIA GREEN BUILDING CODE (CALGreen), 2013 CALIFORNIA FIRE CODE (with local amendments), 2013 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS, AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES AND STANDARDS.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE ACTUAL SITE CONDITIONS PRIOR TO BIDDING, AND FOR ANY UNIQUE CIRCUMSTANCES OR DISCREPANCIES THAT MAY EXIST.
- DIMENSIONS, UNLESS OTHERWISE SHOWN, ARE TO STUDLINE, ROUGH CONCRETE OR CONCRETE BLOCK SURFACES.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS PRIOR TO THE FABRICATION OF ANY WORK. DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED. ANY ERRORS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, IN WRITING, IMMEDIATELY. UNLESS REPORTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONAL INCONSISTENCIES AND PROBABLE REMEDIAL WORK.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT SHOWN, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN OR CALLED FOR.
- IF APPLICABLE, CURBS AND CURB CUTS TO BE PER CITY STANDARDS. INSPECT, REPAIR & REPLACE DAMAGED CURBS & CURB CUT PER CITY REQUIREMENTS.
- THE FINISHES FOR THIS RESIDENCE, INCLUDING BUT NOT LIMITED TO, FLOOR COVERINGS, PAINT, CABINET TREATMENT, LIGHT FIXTURES ETC., ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEPARATE PERMIT SHALL BE OBTAINED FOR ELECTRICAL, HEATING, AND PLUMBING INSTALLATIONS. CONTRACTOR SHALL PROVIDE DESIGN/SCHEMATICS AND PAY REQUIRED PERMIT FEES.
- CONTRACTOR SHALL COORDINATE BETWEEN THE VARIOUS TRADES/SUBCONTRACTORS.
- WHENEVER REQUIRED, CONTRACTOR SHALL OBTAIN OWNER'S APPROVAL, PRIOR TO INSTALLATION OF FIXTURES, HARDWARE, FINISHES, ETC.
- CONTRACTOR SHALL INFORM UTILITY AND TELEPHONE COMPANIES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HOOK-UP AND START-UP OF ALL UTILITIES.
- ALL MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DISPOSED OF OR RECYCLED BY THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN COMPLETE STRUCTURAL INTEGRITY AT ALL TIMES AND SHALL PROVIDE ADEQUATE PRECAUTION FOR THE SAFETY OF PUBLIC LIFE AND PROPERTY.
- INSTALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED PER CITY STANDARDS.

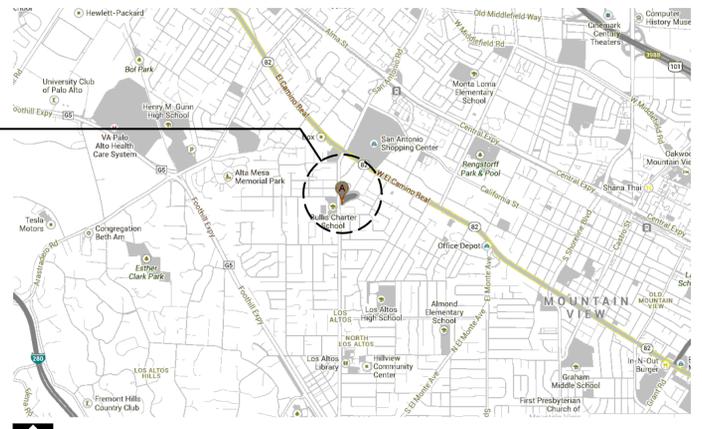
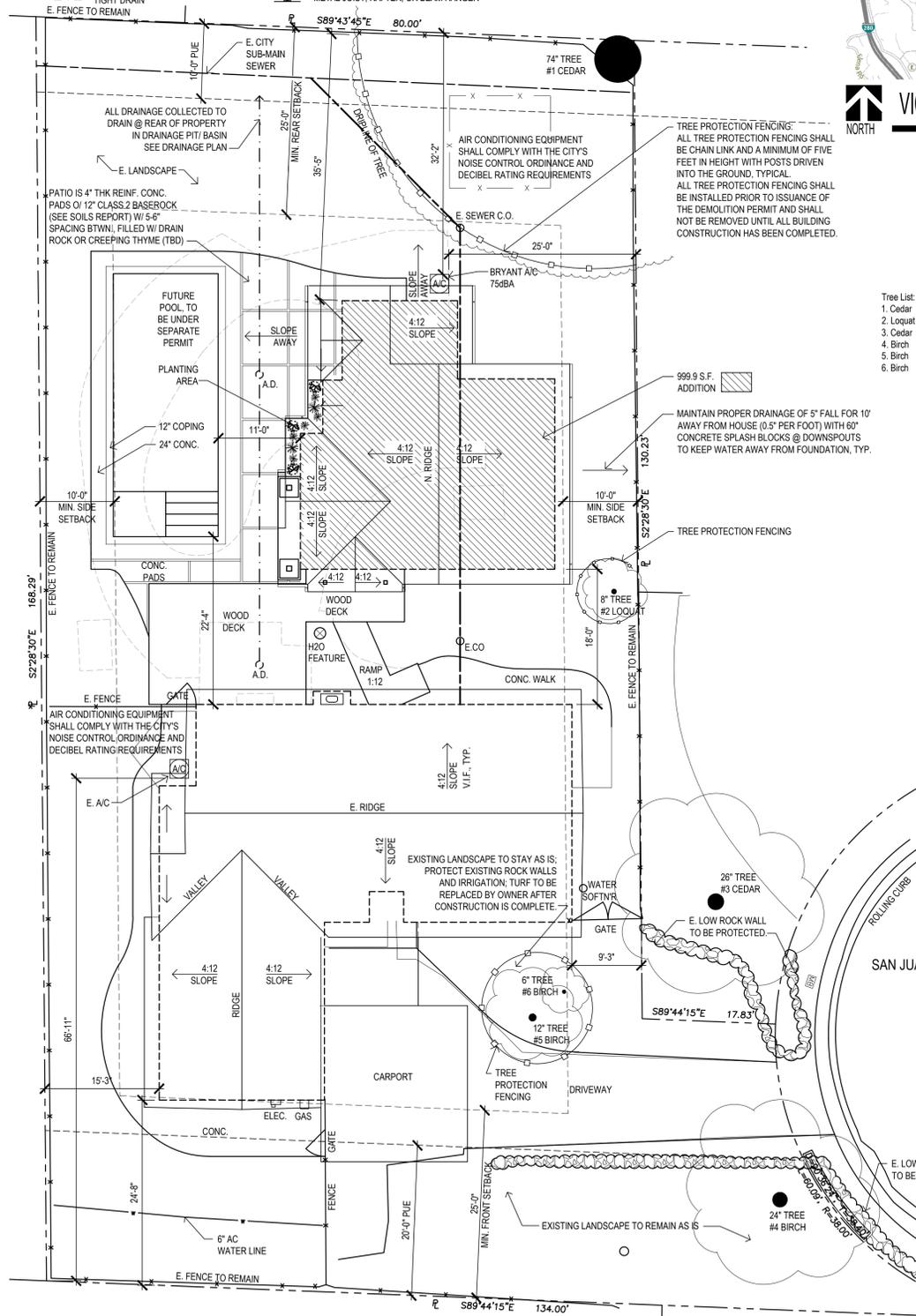
ABBREVIATIONS:

A.B. ANCHOR BOLT	GLULAM. GLUE LAMINATED	R.W.L. RAIN WATER LEADER	T & G TONGUE AND GROOVE
ACC ACCESSIBLE	GND. GROUND	S.C. SOLID CORE	T.H. THERMOSTAT
ACCOUS. ACOUSTICAL	GWB GYPSUM WALL BOARD	S.D. SOAP DISPENSER	THK THICK
ACT ACOUSTICAL CEILING TILE	GYP. BD. GYPSUM BOARD	S.S.D. SEE STRUCTURAL DRAWINGS	T.P. THICK PAPER DISPENSER
A.D. AREA DRAIN	H.B. HOSE BIB	SEC. SECURITY	T.S. TOP OF SLAB
ADJ. ADJUSTABLE	H.C. HOLLOW CORE	SECT. SECTION	T.O.W. TOP OF WALL
AFF. ABOVE FINISHED FLOOR	H.D. HOLD DOWN	S.F. SQUARE FEET	TYP. TYPICAL
AGGR. AGGREGATE	HW. HARDWARE	SH. SHELF	UNF. UNFINISHED
ALT. ALTERNATE	HR. HEADER	SHT. SHEET	U.O.N. UNLESS OTHERWISE NOTED
ALUM. ALUMINUM	HDWD. HARD WOOD	SHTG. SHEATHING	VERT. VERTICAL
APPROX. APPROXIMATE	H.M. HOLLOW METAL	SIM. SIMILAR	SOL. SOLID
ARCH. ARCHITECT, ARCHITECTURAL	HORIZ. HORIZONTAL	SPEC. SPECIFICATION	SQ. SQUARE
BD. BOARD	HR. HOUR	SS. STAINLESS STEEL	STD. STANDARD
BET. BETWEEN	HT. HEIGHT	STG. STORAGE	STL. STEEL
BLDG. BUILDING	HYAC. HEATING VENTILATING	STRUC. STRUCTURAL	SUSP. SUSPENDED
BLKG. BLOCKING	AIR CONDITIONING	SYM. SYMMETRICAL	T. TREAD
BOB. BOTTOM OF BEAM	HW. HOT WATER	T.B. TOWEL BAR	T.C. TOP OF CURB
BOT. BOTTOM	I.D. INSIDE DIMENSION/DIAMETER	T.B.D. TO BE DETERMINED	T.O.P. TOP OF PLATE
B.O.W. BOTTOM OF WALL	IF. INSIDE/ INTERIOR FACE	T.O.C. TOP OF CURB	T.D.L. TIGHT DRAIN LINE
BSMT. BASEMENT	IN. INCH	@. AND	CL. CENTERLINE
B.W. BOTTOM OF WALL	INCL. INCLUDING	AT. AT	II. PARALLEL
C.A.R. COLD AIR RETURN	INFO. INFORMATION	&. AND	L. PERPENDICULAR
CAB. CABINET	INSUL. INSULATION	AT. AT	
C/C. CENTER TO CENTER	JAN. JANITOR	CL. CENTERLINE	
C.E.M. CEMENT	JC. JOB CAPTAIN	T.D.L. TIGHT DRAIN LINE	
CER. CERAMIC	JST. JOIST	TEL. TELEPHONE	
C.F.M. CUBIC FT. PER MINUTE	JT. JOINT	TEMP. TEMPERED	
CL. CENTER LINE	KIT. KITCHEN		
CL.G. CEILING	LAM. LAMINATE		
CLO. CLOSET	LAV. LAVATORY		
CLR. CLEAR/ CLEARANCE	LL. LANDLORD		
C.M.U. CONCRETE MASONRY UNIT	M.C. MEDICINE CABINET		
CNTR. CENTER	MATL. MATERIAL		
COL. COLUMN	MAX. MAXIMUM		
CONC. CONCRETE	MC. MECHANICAL CONTRACTOR		
CONST. CONSTRUCTION	MIN. MINIMUM		
CONT. CONTINUOUS	MIR. MIRROR		
CT. CERAMIC TILE	MISC. MISCELLANEOUS		
CNTR. COUNTER	MECH. MECHANICAL		
CW. COLD WATER	MEP. MECHANICAL ELECTRICAL		
DBL. DOUBLE	AND PLUMBING		
DEG. DEGREES	MFR. MANUFACTURER		
DEPT. DEPARTMENT	MLDG. MOULDING		
DET. DETAIL	MTL. METAL		
DIAM. DIAMETER	MATL. MATERIAL		
DIM. DIMENSION	(N) NEW		
DISP. DISPOSAL OR DISPENSER	NAT. NATURAL		
DN. DOWN	NEC. NECESSARY		
DR. DOOR	N.I.C. NOT INCLUDED IN CONTRACT		
DS. DOWNSPOUT	N.O., # NUMBER		
DW. DISHWASHER	N.T.S. NOT TO SCALE		
DWG(S) DRAWING(S)	O. OVER		
DWR. DRAWER	O.A. OVERALL		
(E) EXISTING	OBS. OBSCURE		
EA. EACH	OCC. OCCUPANCY		
EC. ELECTRICAL CONTRACTOR	O.C. ON CENTER		
ELEC. ELECTRICAL	O.D. OUTSIDE DIAMETER		
EL. ELEVATION	O.F. OUTSIDE FACE		
ELEV. ELEVATOR	OFF. OFFICE		
ENCL. ENCLOSURE	OPG. OPENING		
EQ. EQUAL	OPP. OPPOSITE		
EQUIP. EQUIPMENT	OPP. HD. OPPOSITE HAND		
E.W. EACH WAY	P.D.L. PERFORATED DRAIN LINE		
EXIST. EXISTING	PC. PLUMBING CONTRACTOR		
EXP. EXPOSED	PERF. PERFORATED		
EXTR. EXTERIOR	PLAS. PLASTER		
F.D. FLOOR DRAIN	PL. LAM. PLASTIC LAMINATE		
FDN. FOUNDATION	PL. PLATE OR PROPERTY LINE		
F.F. FINISH FLOOR	PLYWD. PLYWOOD		
F.G. FINISHED GRADE	PR. PAIR		
FIN. FINISH	PRCST. PRECAST		
FLASH. FLASHING	PT. PAINT		
FLR. FLOOR	P.T.D. PAPER TOWEL DISPENSER		
FLUOR. FLUORESCENT	QUAN. QUANTITY		
F.O.C. FACE OF CABINET	QT. QUARRY TILE		
F.O.G. FACE OF GLAZING	(R) REMODEL		
F.O.S. FACE OF STUD	R. RADIUS		
FRMG. FRAMING	R.D. ROOF DRAIN		
FRP. FIBERGLASS REINFORCED PANEL	RAD. RADIUS		
FRPF. FIREPROOF	REC. RECEPTACLE		
FT. FOOT/ FEET	REF. REFERENCE		
FTG. FOOTING	REFR. REFRIGERATOR		
FURR. FURRING	REQ.D. REQUIRED		
GA. GAUGE	REV. REVISED/ REVISION		
GALV. GALVANIZED	RGTR. REGISTER		
G.C. GENERAL CONTRACTOR	R.H. ROBE HOOK		
GEN. GENERAL	RM. ROOM		
G.F.I. GROUND FAULT INTERRUPTER	R.O. ROUGH OPENING		
GL. GLASS, GLAZING	RW. RETAINING WALL		
G.L.B. GLUE LAM BEAM	RWD. REDWOOD		

**ON ALL SITE WORK
BEFORE YOU DIG CALL
UNDERGROUND SERVICE ALERT
1-800-227-2600
CALL AHEAD TWO WORKING DAYS**

SYMBOLS

- | | | | |
|--|---|-------------------------------------|---|
| SWITCH | TELEVISION OUTLET | PERFORATED DRAIN | WALL REGISTER |
| DUPLEX OUTLET | DSL | PROPERTY LINE | FLOOR REGISTER, CEILING REGISTER |
| SWITCHED DUPLEX OUTLET | THERMOSTAT | BLOCKING | CONTINUOUS FRAMING |
| 220V OUTLET | SMOKE DETECTOR | SHEAR WALL | TOP OF SUB FLOOR ELEV. |
| QUAD OUTLET | CABLE TELEVISION | BATT INSULATION | APPENDUM OR REVISION NUMBER |
| GROUND FAULT INTERRUPTER OUTLET | DATA DROP = 1" CONDUIT (CAT6 & FIBERBUNDLE CABLE) | NEW WALL, (SHADED) | DOOR NUMBER |
| CEILING RECESSED MOUNTED LIGHT FIXTURE | HOSE BIB | EXISTING WALL TO BE REMOVED | WINDOW NUMBER |
| CEILING SURFACE MOUNTED LIGHT FIXTURE | GAS CONNECTION | EXISTING WALL TO REMAIN | DETAIL - TOP: DWG. NUMBER OR LETTER
BOTTOM: SHEET NUMBER |
| WALL MOUNTED LIGHT FIXTURE | WATER CONNECTION | BEAMS, HEADERS, GLULAMS AS NOTED | SECTION |
| FAN | HOT WATER CONNECTION | POST- CONTINUOUS | ELEVATIONS - TOP: ELEVATION NUMBER
BOTTOM: SHEET NUMBER |
| FLUORESCENT LIGHT FIXTURE | COLD WATER CONNECTION | POST ABOVE FRAMING LEVEL | CEILING HEIGHT |
| TELEPHONE JACK | TIGHT DRAIN | METAL JOIST, RAFTER, OR BEAM HANGER | |



VICINITY MAP

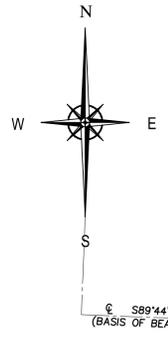
BUILDING DATA

BUILDING OCCUPANCY GROUP: R-3	
TYPE OF CONSTRUCTION: TYPE "C"	
STORIES: 1	
ASSESSOR'S NUMBER: 170-13-047	
ZONING DISTRICT: R1-10	

ZONING COMPLIANCE

NET LOT AREA:	14,400 square feet		
	Existing	Change in	Total Proposed
% OF FRONT YARD PAVING	N/A	N/A	0 sq ft (0%)
HABITABLE LIVING AREA: (includes habitable basement area)	2031.9 square feet	999.1 square feet	3031.0 square feet
NON-HABITABLE AREA:	889.7 square feet	-378.1 square feet	483.8 square feet

	Existing	Proposed	Allowed/Required
LOT COVERAGE: (Land area covered by all structures that are over 6 feet in height)	2891.6 square feet (20.1%)	3512.4 square feet (24.4%)	3920 square feet (27.2%)
FLOOR AREA:	2372.5 square feet (16.5%)	3000.7 square feet (20.8%)	4190 square feet (29.1%)
SETBACKS:			
Front	25'-0" feet	23'-0" feet	25'-0" feet
Rear	89'-0" feet	89'-0" feet	35'-0" feet
Right side	9'-3" feet	9'-3" feet	11'-0" feet
Left side	15'-3" feet	15'-3" feet	15'-3" feet
HEIGHT:	14'-0" feet	14'-0" feet	30'-0" feet



SHEET INDEX

- A-1) TITLE SHEET, SITE PLAN
- A-2) PROPOSED FLOOR PLAN, FLOOR AREA AND COVERAGE CALCULATIONS
- A-3) PROPOSED EXTERIOR ELEVATIONS
- A-3.1) PROPOSED EXTERIOR ELEVATIONS
- A-4) PROPOSED BUILDING SECTIONS
- A-7) EXISTING FLOOR PLAN
- A-8) EXISTING ELEVATIONS
- A-13) BLUEPRINT FOR A CLEAN BAY
- C1) BOUNDARY SURVEY

**SITE PLAN
NOT A SURVEY**

REVISIONS	BY



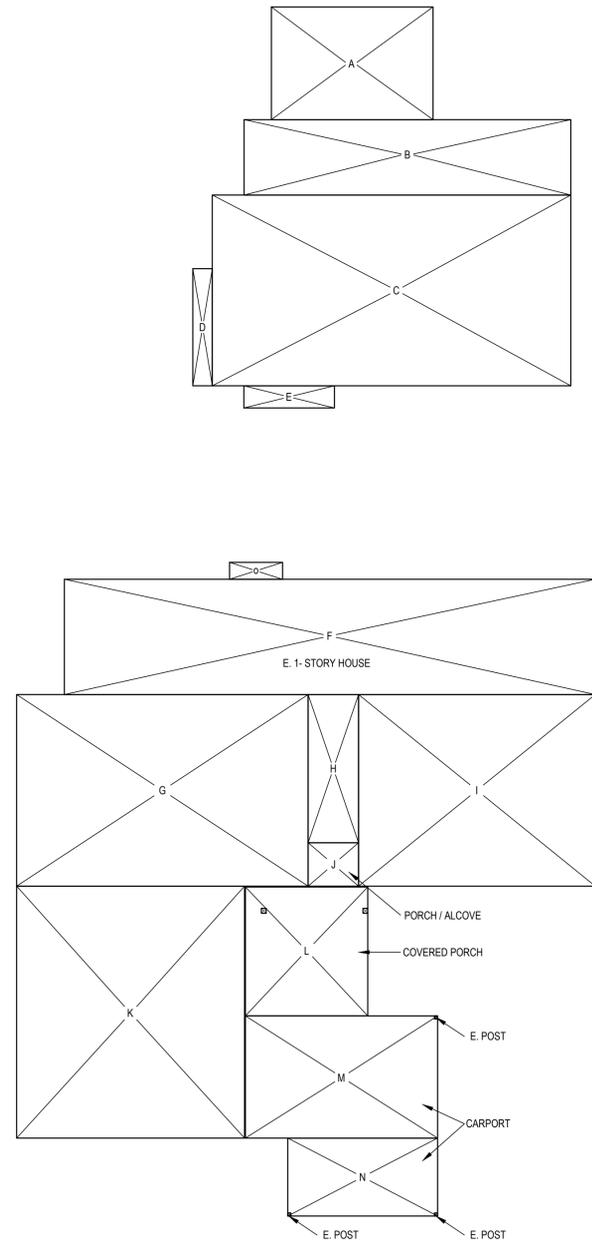
Design by: **K A C E Y F I T Z P A T R I C K**
151 Mountain View Ave.
Los Altos, CA 94024
Phone 650-906-7029
kfitz@avalon-enterprises.com

TITLE SHEET/ SITE PLAN

REMODEL/ ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct., Los Altos, CA 94022

DRAWN My Cad Drafter™
CHECKED KF
DATE 06/05/14
SCALE AS NOTED
JOB NO.
SHEET

A-1

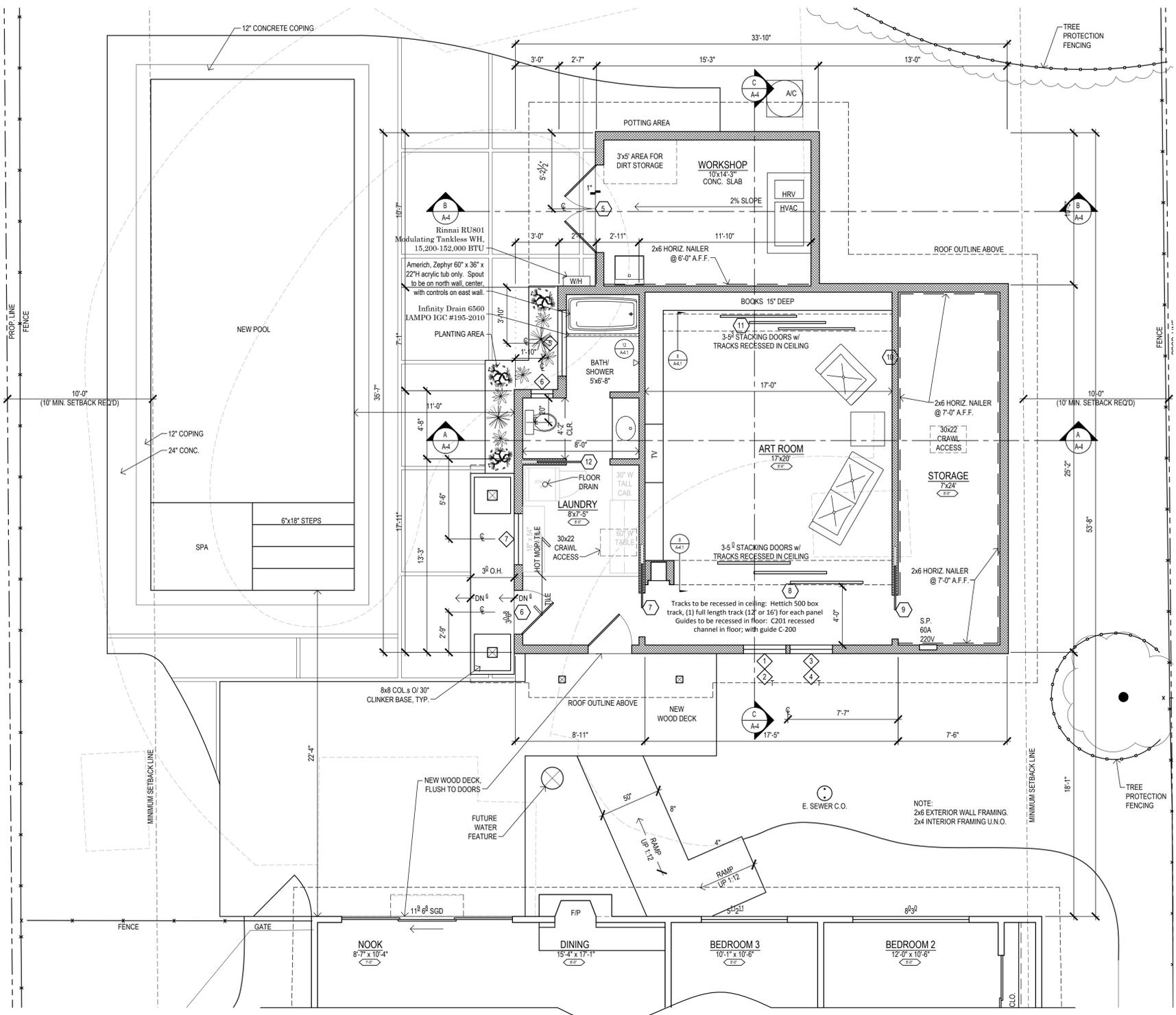


FLOOR AREA & COVERAGE

SCALE: 1/8" = 1'-0"

Section	Dimensions	Area
A	15'-3" x 10'-7"	161.4 sq. ft.
B	30'-10" x 7'-1"	218.4 sq. ft.
C	33'-10" x 17'-11"	606.2 sq. ft.
F	50'-1" x 10'-10"	542.6 sq. ft.
G	27'-6" x 18'-0"	495 sq. ft.
H	4'-9" x 13'-11"	66.1 sq. ft.
I	22'-4" x 18'-0"	402 sq. ft.
K	21'-6" x 23'-8"	509 sq. ft.
TOTAL FLOOR AREA		3000.7 sq. ft.
360 sq. ft. EXISTING STRUCTURES REMOVED (SHED)		
D	1'-10" x 11'-0"	20.2 sq. ft.
E	8'-6" x 2'-0"	19.4 sq. ft.
J	4'-9" x 4'-1"	19.4 sq. ft.
L	11'-6" x 12'-1"	139.7 sq. ft.
M	18'-0" x 11'-6"	207 sq. ft.
N	14'-0" x 7'-0"	98 sq. ft.
O	1'-7" x 5'-0"	8 sq. ft.
TOTAL LOT COVERAGE		3512.4 sq. ft.

GRAPHIC SCALE: 1/8" = 1'-0"



PROPOSED 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

GRAPHIC SCALE: 1/4" = 1'-0"

WALL LEGEND

- WALLS/DOORS ETC. TO BE REMOVED
- WALLS/DOORS ETC. TO REMAIN
- N. WALLS

CODE EDITIONS:

- 2013 Calif Building Code
- 2013 Calif Mechanical Code
- 2013 Calif Plumbing Code
- 2013 Calif Electrical Code

FLOOR PLAN NOTES:

- All exterior walls to be 2x6 at 24" O.C. U.O.N.
- All dimensions to face of finish, U.O.N.
- All non normal angles in plan to be verified.
- All plumbing shall be separated from structure with plumbing piping insulation.
- Provide clear space in front of all water closets a minimum of 30" wide by 24".
- Consult owner for heights of all shower heads.
- Provide 2x blocking at all hooks and towel rods.
- 3/2" gypsum board typical. 3/8" gyp. brd. at framing spaced at 24" O.C. Provide 1/2" type 'X' gyp. brd. as noted on plans.
- All glazing in ingress & egress doors except jalousies shall be tempered.
- All glazing in sliding & swinging doors shall be tempered.
- Provide 18" x 24" underfloor access within 20" of plumbing cleanouts, CBC 2306, CPC 707.10
- Provide 22" x 30" attic access (30" x 30" with attic equipment), CBC 1505.1, CMC 908
- Provide cross ventilation for attic and rafter bays, 1" minimum air space above insulation, CBC 1505.3
- Fireblock concealed spaces in accordance with CBC Section 708
- Exposed wood framing shall be pressure treated or decay resistant, CBC 2306
- 10% light & vent, 1/2 open, CBC 1203
- Emergency escape @ bedrooms, CBC 310.4
- Smoke detectors in hallways, bedrooms and at each story, CBC 310.9
- Carbon monoxide detector required, CBC 420.4
- Stairway requirements, CRC 311.7
- Safety glass, CBC 2406
 - at tubs & showers
 - within 24" of a door
 - within 18" of the floor
 - at stairways and landings
- 36" landing @ exterior doors, CRC R311.3
- 1/2" type 'X' gypsum board between garage (shop) & residence, including support, CBC 302.4
- 1/2" type 'X' gypsum board in closets under stairways, CBC 1003.3.3.9.10
- Provide fluorescent lighting in kitchen and bathrooms, Title 24
- Seismic strap & thermal expansion tank @water heater, CPC 510.5 & 608.3
- Outside combustion air for water heater and furnace, CPC 507, CMC 703
- Dryer vent 14" max length, CMC 504.3
- Minimum 36 inch deep landing required outside all exterior doors not more than 7 1/2 inches lower than threshold for in-swinging doors and not more than 1 1/2 inch lower than threshold for out-swinging doors. CRC R311.3

DESIGN REVIEW

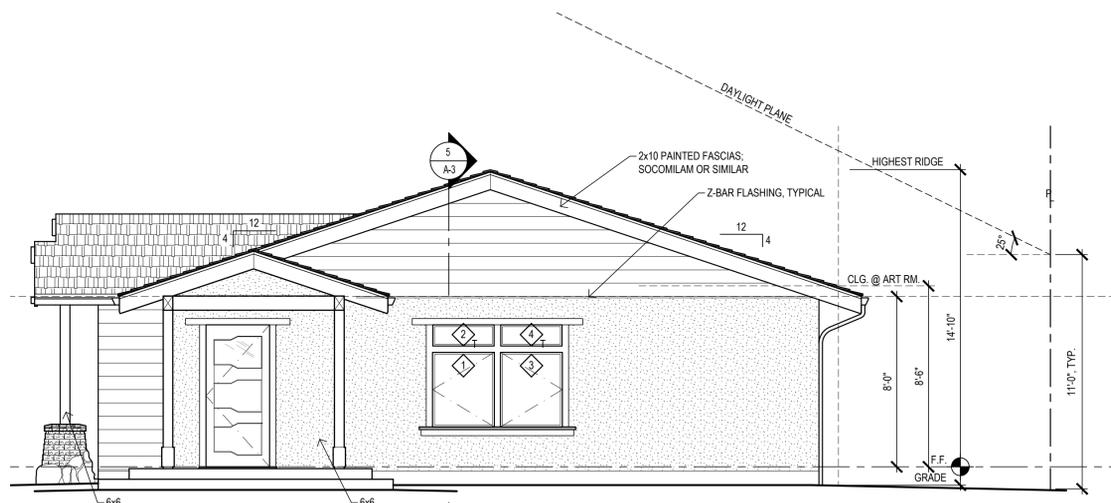
REVISIONS	BY



Design by:
KACEY FITZPATRICK
Phone 650-906-7029
kfitz@avalon-enterprises.com
151 Mountain View Ave.
Los Altos, CA 94024

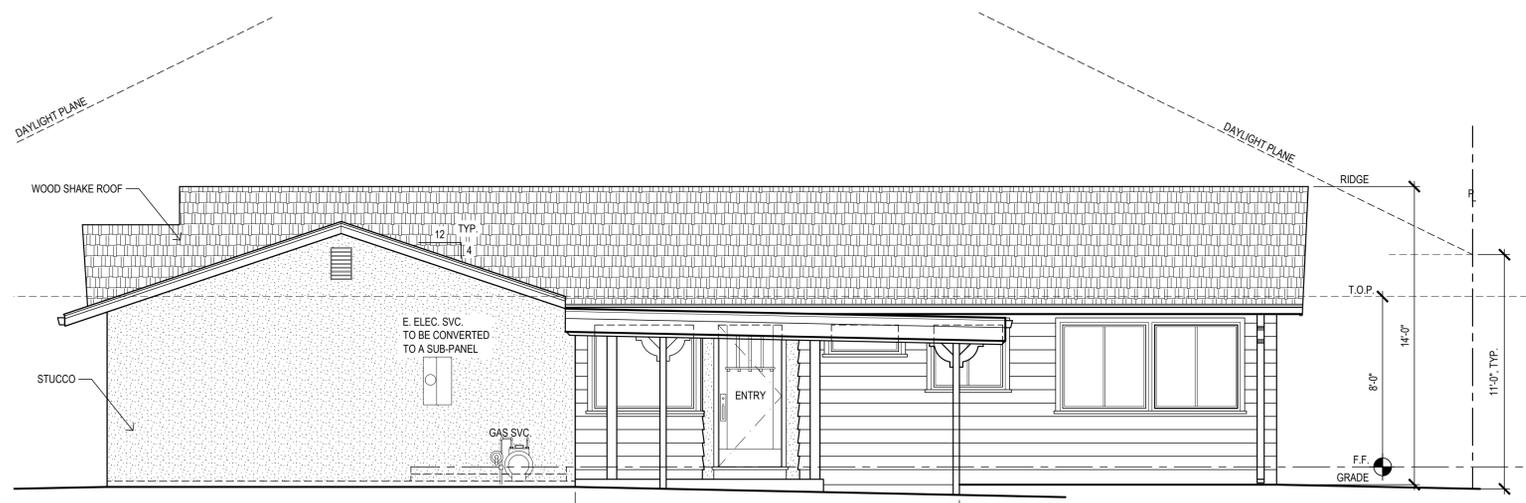
REMODEL/ ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct. Los Altos, CA 94022

DRAWN	My Cad Drafter™
CHECKED	KF
DATE	06/05/14
SCALE	AS NOTED
JOB NO.	
SHEET	
A-2	
OF	SHEETS



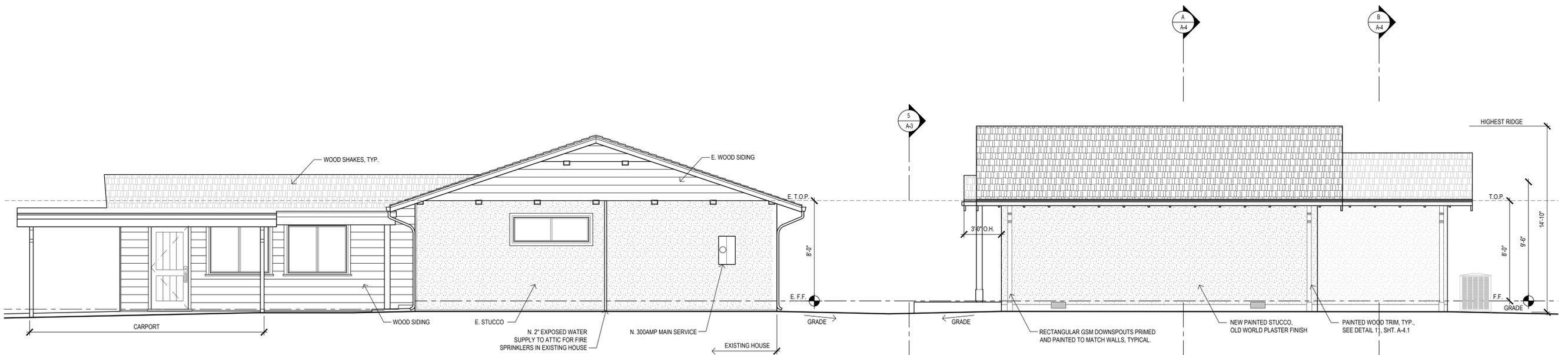
5 PROPOSED SOUTH ELEVATION
AT ADDITION

SCALE: 1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION
FRONT-UNCHANGED

SCALE: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION
RIGHT SIDE

SCALE: 1/4"=1'-0"

DESIGN REVIEW

REVISIONS	BY



SUSTAINABLE HOMES
DESIGN • BUILD
© Avalon Enterprises, Inc., 2013

Design by:
KACEY FITZPATRICK
 Phone 650-906-7029
 kfitz@avalon-enterprises.com
 151 Mountain View Ave.
 Los Altos, CA 94024

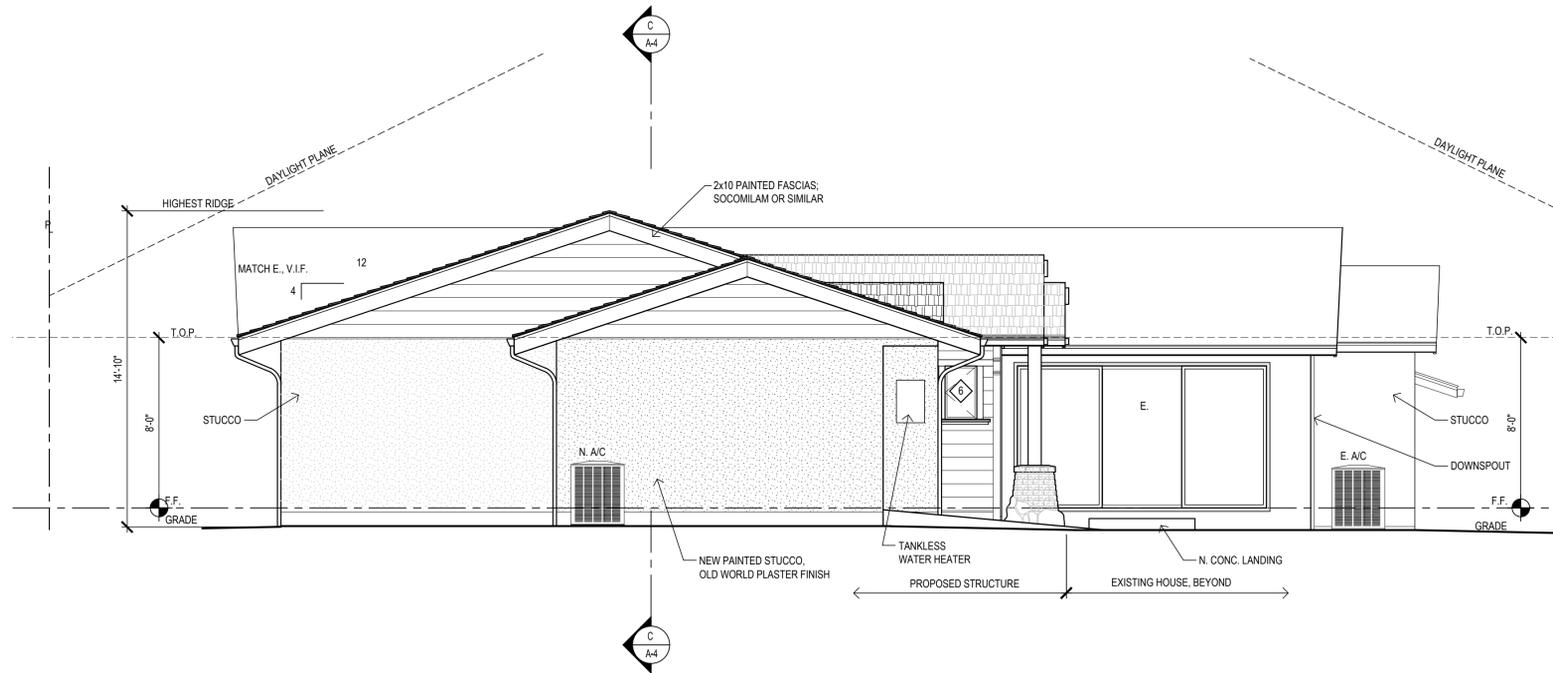
PROPOSED
ELEVATIONS

REMODEL/ ADDITION FOR:
Au-Valdez Residence
 15 San Juan Ct. Los Altos, CA 94022

DRAWN	My Cad Drafter™
CHECKED	KF
DATE	06/04/14
SCALE	AS NOTED
JOB NO.	
SHEET	

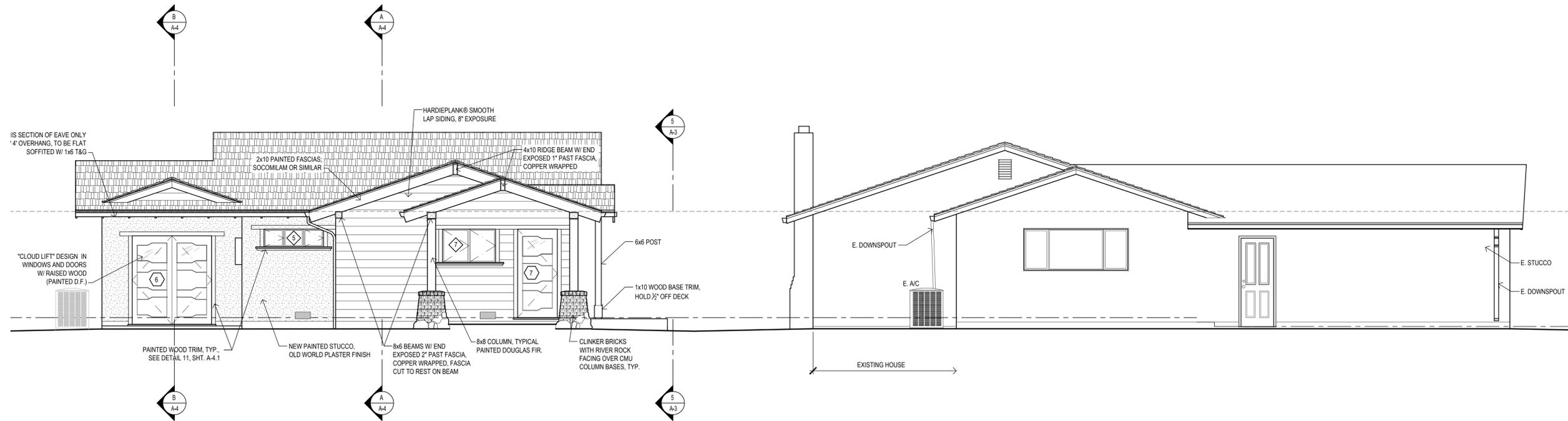
A-3

OF SHEETS



3 PROPOSED NORTH ELEVATION
REAR

SCALE: 1/4"=1'-0"



4 PROPOSED WEST ELEVATION
LEFT SIDE

SCALE: 1/4"=1'-0"

DESIGN REVIEW

REVISIONS	BY



SUSTAINABLE HOMES
DESIGN • BUILD
© Avalon Enterprises, Inc., 2013

Design by:
KACEY FITZPATRICK
Phone 650-906-7029
kfitz@avalon-enterprises.com
151 Mountain View Ave.
Los Altos, CA 94024

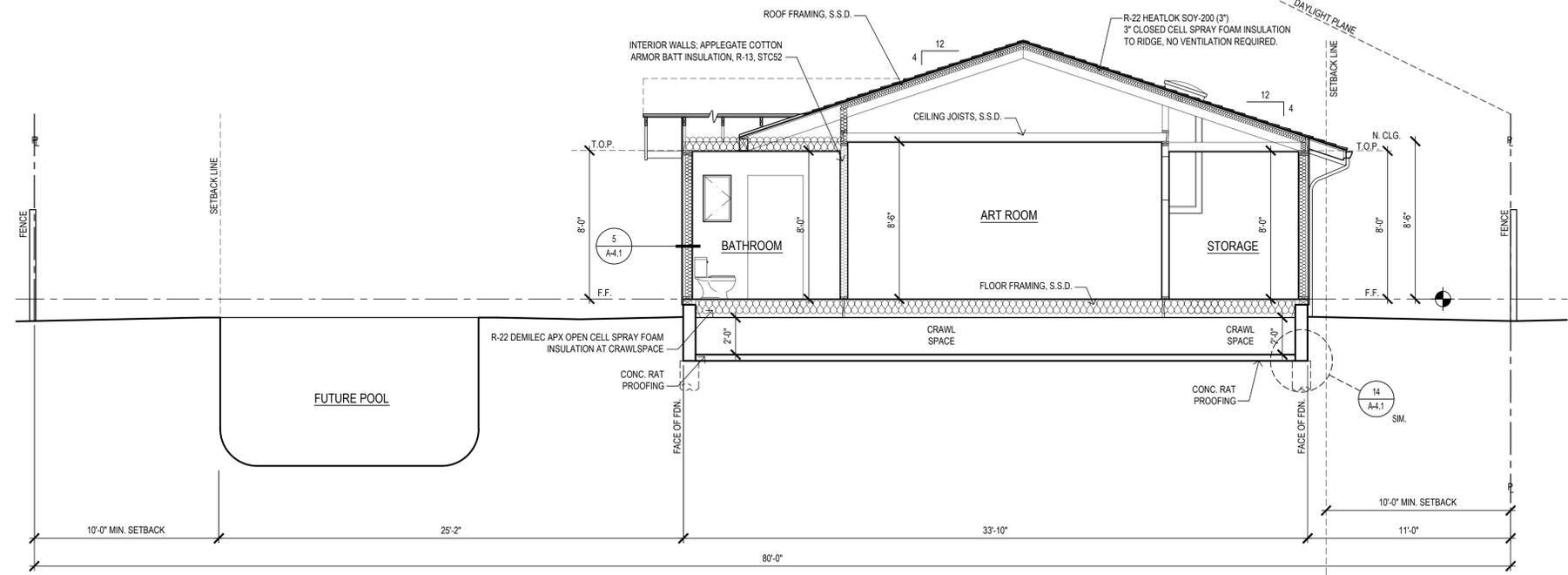
PROPOSED
ELEVATIONS

REMODEL/ ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct., Los Altos, CA 94022

DRAWN	My Cad Drafter™
CHECKED	KF
DATE	06/04/14
SCALE	AS NOTED
JOB NO.	
SHEET	

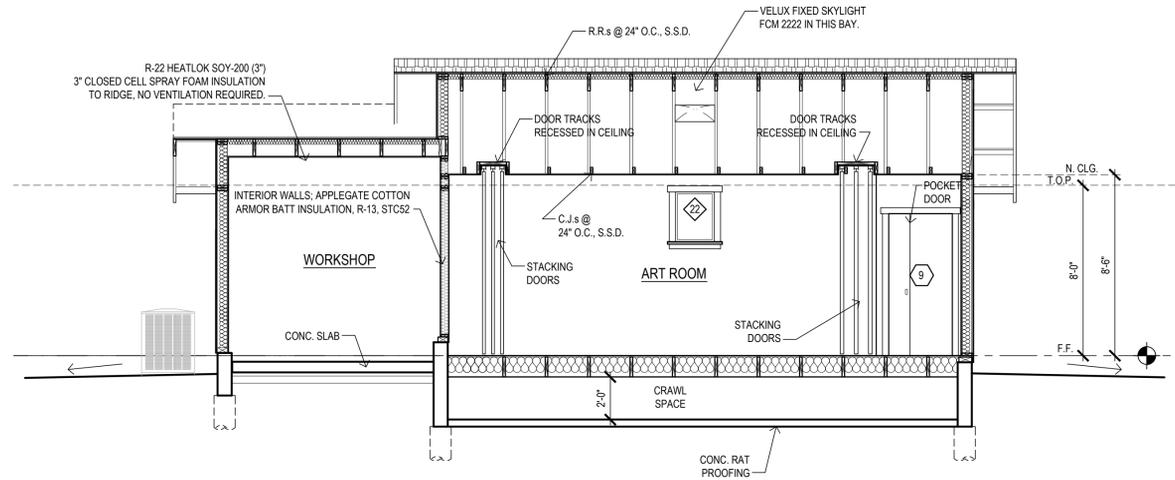
A-3.1

OF SHEETS



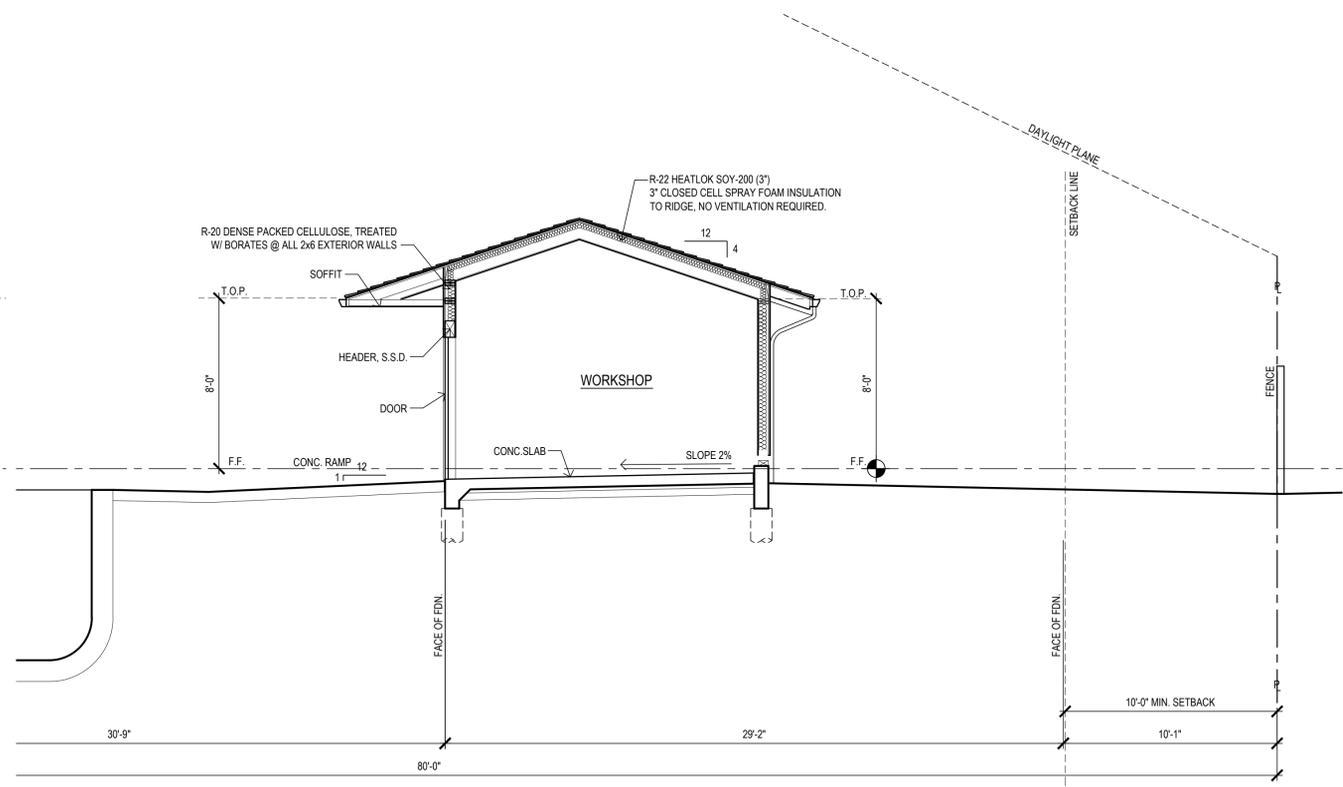
A PROPOSED BUILDING SECTION

SCALE: 1/4"=1'-0"



C PROPOSED BUILDING SECTION

SCALE: 1/4"=1'-0"



B PROPOSED BUILDING SECTION

SCALE: 1/4"=1'-0"

REVISIONS	BY



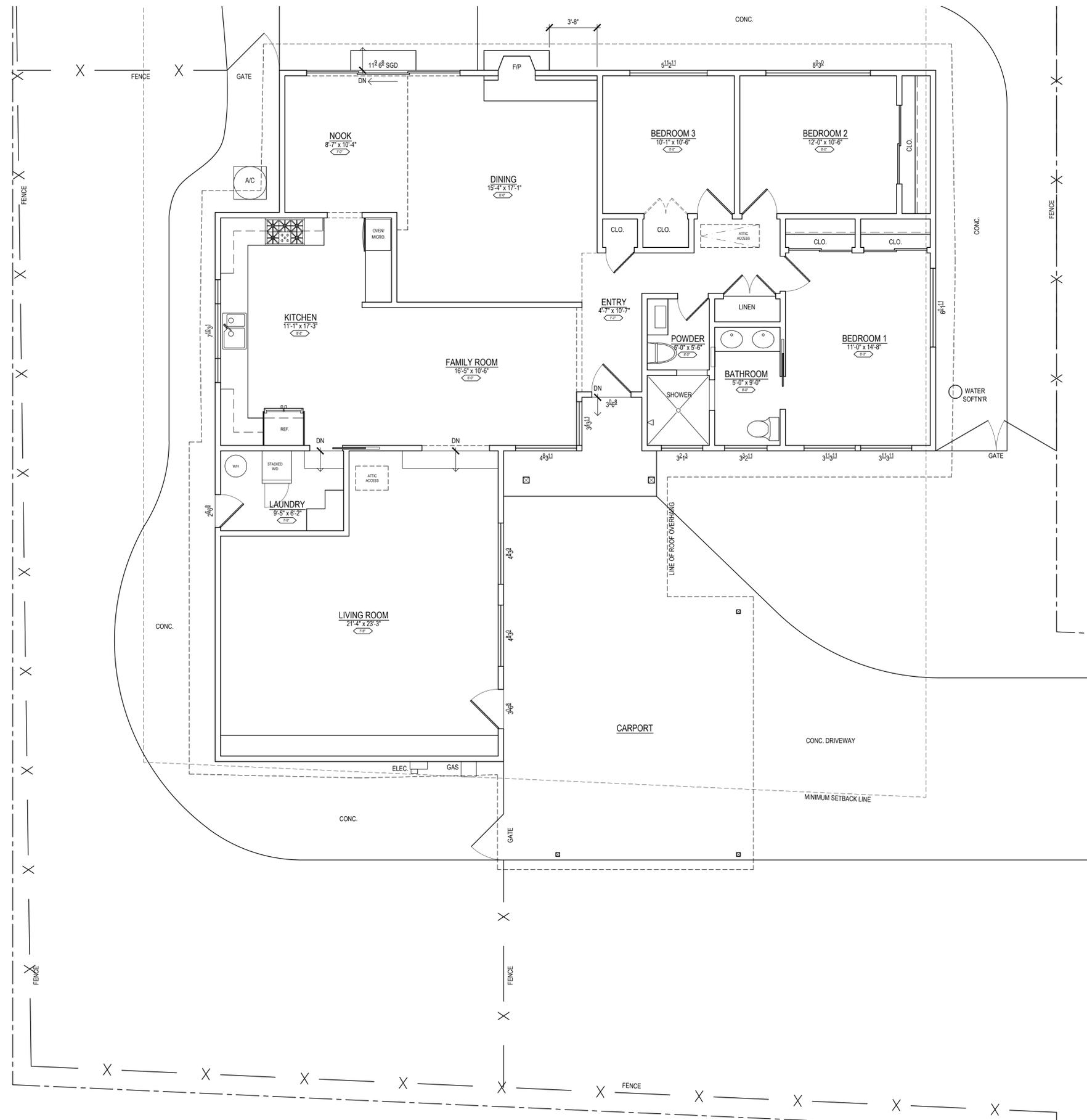
Design by:
KACEY FITZPATRICK
 Phone 650-906-7029
 kltz@avalon-enterprises.com
 151 Mountain View Ave.
 Los Altos, CA 94024

PROPOSED BUILDING SECTIONS

REMODEL/ ADDITION FOR:
Au-Valdez Residence
 15 San Juan Ct. Los Altos, CA 94022

DRAWN	My Cad Drafter™
CHECKED	KF
DATE	06/05/14
SCALE	AS NOTED
JOB NO.	

SHEET
A-4
 OF SHEETS



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'



REVISIONS	BY



Design by:
KACEY FITZPATRICK
 Phone 650-906-7029
 kfitz@avalon-enterprises.com
 151 Mountain View Ave.
 Los Altos, CA 94024

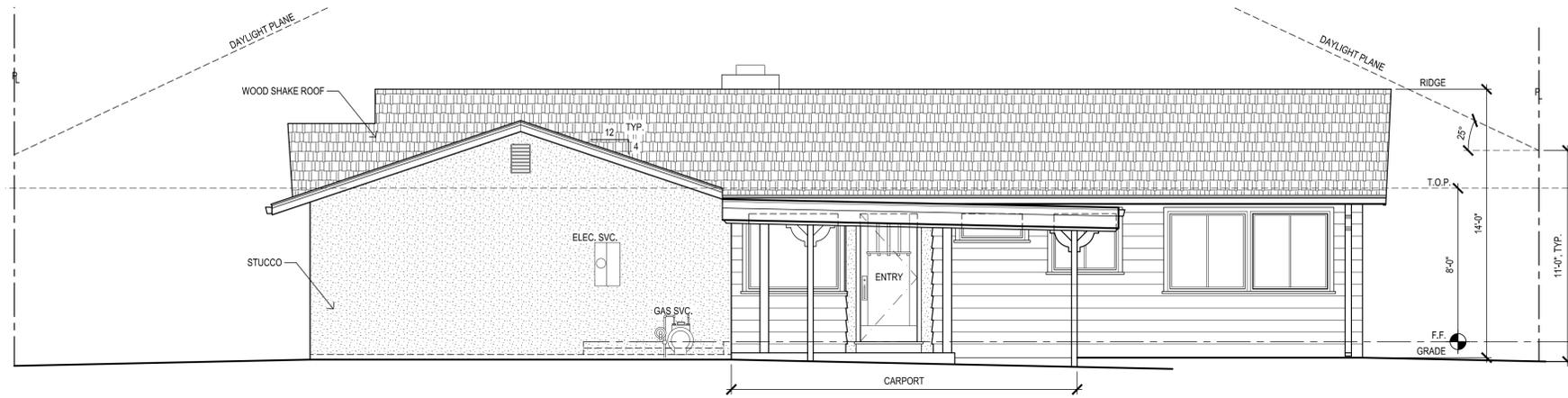
EXISTING FLOOR PLAN

REMODEL/ ADDITION FOR:
Au-Valdez Residence
 15 San Juan Ct. Los Altos, CA 94022
 PHONE NUMBER

DRAWN	My Cad Drafter™
CHECKED	KF
DATE	02/03/14
SCALE	AS NOTED
JOB NO.	
SHEET	

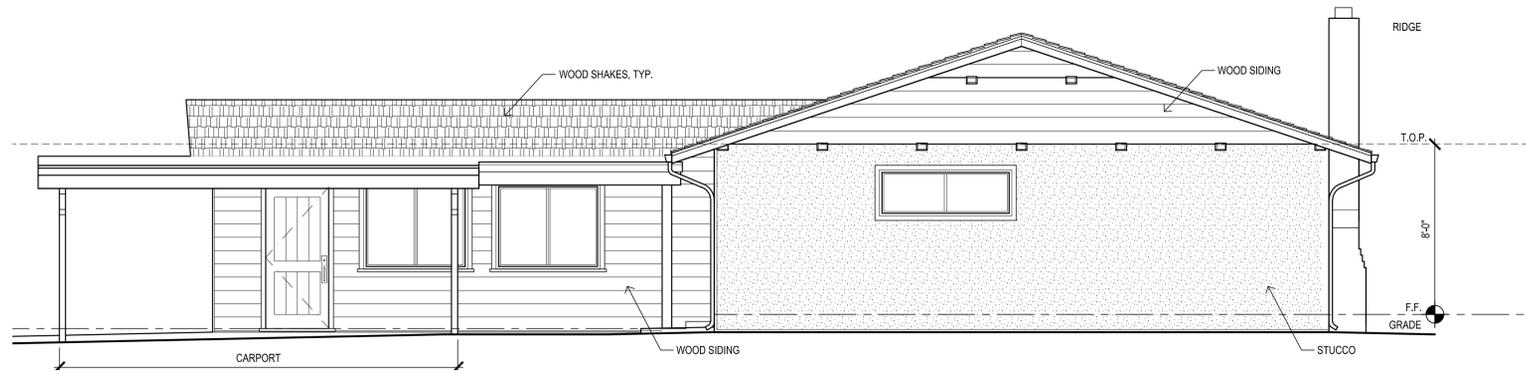
A-7

NOTE: THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF "AVALON ENTERPRISES, INC." AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF "AVALON ENTERPRISES, INC." VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



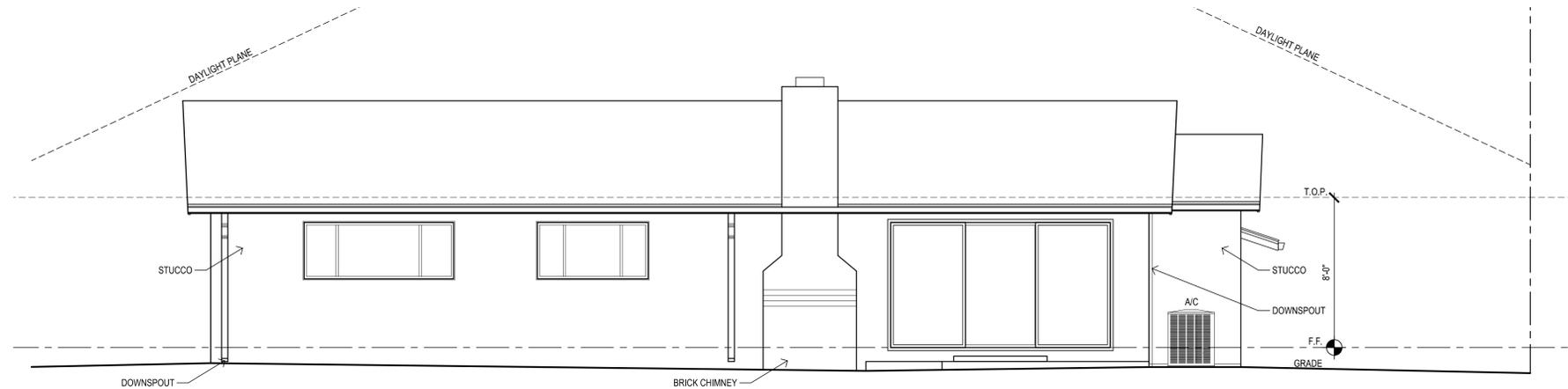
○ E. SOUTH ELEVATION

SCALE: 1/4"=1'-0"



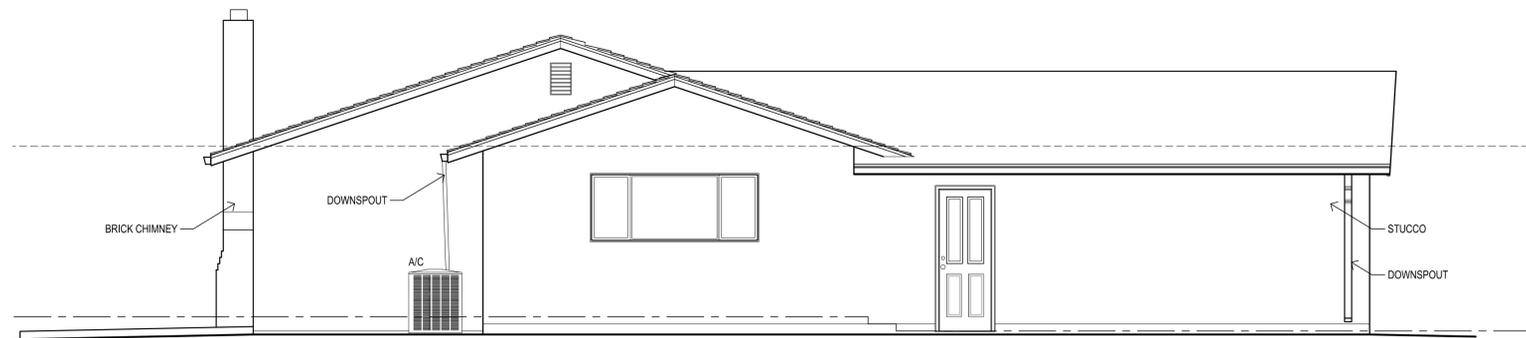
○ E. EAST ELEVATION

SCALE: 1/4"=1'-0"



○ E. NORTH ELEVATION

SCALE: 1/4"=1'-0"



○ E. WEST ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS	BY



Design by:
KACEY FITZPATRICK
Phone 650-906-7029
151 Mountain View Ave.
Los Altos, CA 94024
kfitz@avalon-enterprises.com

EXISTING
ELEVATIONS

REMODEL/ ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct., Los Altos, CA 94022
PHONE NUMBER

DRAWN	My Cad Drafter™
CHECKED	KF
DATE	02/03/14
SCALE	AS NOTED
JOB NO.	
SHEET	

A-8