



DATE: May 14, 2014

AGENDA ITEM # 5

TO: Design Review Commission
FROM: Zachary Dahl, Senior Planner
SUBJECT: 14-SC-13 – 15 San Juan Court

RECOMMENDATION:

Approve design review application 14-SC-13 subject to the findings and conditions

PROJECT DESCRIPTION

This project is a two-story addition to an existing one-story house. The project includes an addition of 572 square feet on the second floor, 1,243 square feet on the first floor and 636 square feet in the basement. The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION:	Single-Family, Residential
ZONING:	R1-10
PARCEL SIZE:	14,400 square feet
MATERIALS:	Materials to match existing – heavy wood shake roof with standing seam metal roof accent elements, horizontal Hardiplank and stucco siding, wood trim and details, with clinker brick/river rock column base elements

	Existing	Proposed	Allowed/Required
COVERAGE:	2,892 square feet	3,858 square feet	3,920 square feet
FLOOR AREA:			
First floor	2,373 square feet	3,615 square feet	
Second floor	N-A	572 square feet	
Total	2,373 square feet	4,187 square feet	4,190 square feet
SETBACKS:			
Front	20 feet	N-A	25 feet
Rear	89 feet	34.5 feet	25 feet
Right side (1 st /2 nd)	9.3 feet/N-A	9.3/17.5 feet	10 feet/17.5 feet
Left side (1 st /2 nd)	15 feet/N-A	15 feet/43 feet	10 feet/17.5 feet
HEIGHT:	14 feet	21 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located in a Consistent Character Neighborhood, as defined in the City's Residential Design Guidelines. San Juan Court is a cul-de-sac street and the subject property is located at the end of the cul-de-sac, with the side yard backing up to San Antonio Road. The houses in this neighborhood are a mixture of one- and two-story structures that have been designed using simple forms and rustic materials. The landscape along San Juan Court is varied with no distinct street tree pattern.

DISCUSSION

Zoning Compliance

The subject property is located at the end of a cul-de-sac street and is considered an irregularly shaped lot (not a flag lot). The frontage along San Juan Court and the southern property line are both considered front yard areas per the Zoning Ordinance and per staff determination. As a result, the existing house and carport encroach into the front yard setback along the south property line. The house also encroaches into the right side yard setback with a setback of 9.3 feet where 10 feet is required. The house was originally built in 1960 and the carport was added in 1977, and both were permitted and approved; thus the house and carport are considered legally non-conforming. Since the project is not altering the existing house or the carport, the structures are allowed to remain and a variance is not required.

Design Review

According to the Design Guidelines, in Consistent Character Neighborhoods, good neighbor design has design elements, materials and scale found within the neighborhood and sizes that are not significantly larger than other homes in the neighborhood. Proposed projects should fit in and lessen abrupt changes.

The proposed project is maintaining the existing one-story house and adding a two-story wing off of the back of the house. The addition is using gable roof forms, simple massing and rustic materials, which are compatible with the existing house. The project is adding a new material, standing seam metal roofing, to highlight the covered porches on the first story and the dormer elements on the second story of the addition. The use of this roofing material to highlight elements of project has architectural integrity and is compatible with the overall design.

Due to the placement of the addition at the rear of the house, the second story addition will be minimally visible from the street. The existing one-story house will continue to be the more visible portion of the house along the San Juan Court streetscape. Overall, the project design has architectural integrity, it is compatible with the existing house, and the materials and form relate well with the surrounding neighborhood.

Privacy

The Residential Design Guidelines recommend that the finished floor be no more than 22 inches above grade. The lot is relatively flat and the house has been designed to maintain the existing finish floor height, which is approximately 15 inches above grade. With this low finish floor height, the proposed first floor side elevations do not create any privacy issues.

The proposed design includes three second story windows on the east (right) side elevation. These windows are located above the stairs and have a minimum sill height of four feet, six inches above the finish floor. Since these windows are adjacent to the stairs, they function like more like clearstory windows and do not create any significant or unreasonable privacy issues. The west (left) side elevation faces toward San Antonio Road, so there are not any privacy issues associated with the second story windows on this side of the house.

There is also a large second story window on the rear elevation. This window had a setback of 40 feet to the rear property line and is partially screened by a large Cedar tree located along the rear property line. However, there is a section of the rear property line that does not have any screening and the second story window could have a view into the rear yard of the adjacent property. To address this potential privacy issue, staff has included a condition that requires additional evergreen screening trees be planted along the rear property line. With this condition, staff finds that the project will not create any unreasonable privacy impacts.

Landscaping

The project will be preserving all of the existing trees and most of the landscaping on the property. There is a large Birch tree in the front yard and a large Deodara Cedar along the edge of the front yard on the adjacent property. With the preservation of the existing trees and landscaping, staff finds that the project meets the City's landscaping and street tree guidelines.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act because it involves an addition to a single-family dwelling in a residential zone.

Cc: Kasey Fitzpatrick, Applicant and Designer
Reynette Au and Jeannine Valadez, Owners

Attachments

- A. Application
- B. Maps

FINDINGS

14-SC-13 – 15 San Juan Court

With regard to the two-story addition, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed addition complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the proposed addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed addition in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

14-SC-13 – 15 San Juan Court

1. The approval is based on the plans received on April 29, 2014 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. Update the site plan to include additional evergreen trees, minimum 15-gallon size, along the rear property line to provide privacy screening. These screening trees shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.
3. Obtain an encroach permit issued from the Engineering Division prior to doing any work within the public street right-of-way.
4. **Prior to building permit submittal, the plans shall contain/show:**
 - a. The conditions of approval shall be incorporated into the title page of the plans;
 - b. On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground." The tree protection fencing shall be installed prior to issuance of the demolition permit and shall not be removed until all building construction has been completed;
 - c. Verification that all new additions and altered square footage will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from a Qualified Green Building Professional;
 - d. Fire sprinklers to be installed pursuant to Section 12.10 of the Municipal Code;
 - e. The location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches should avoid the drip-lines of all protected trees;
 - f. The location of any air conditioning units on the site plan and the manufacturer's sound rating for each unit; and
 - g. The measures to comply with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).
5. **Prior to final inspection:**
 - a. All front yard landscaping and privacy screening shall be maintained and/or installed as required by the Planning Division; and
 - b. Submit verification that the house was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).



CITY OF LOS ALTOS
GENERAL APPLICATION

Type of Review Requested: (Check all boxes that apply)

Permit # 1106077

<input type="checkbox"/>	One-Story Design Review	<input type="checkbox"/>	Sign Review	<input type="checkbox"/>	Multiple-Family Review
<input checked="" type="checkbox"/>	Two-Story Design Review	<input type="checkbox"/>	Sidewalk Display Permit	<input type="checkbox"/>	Rezoning
<input type="checkbox"/>	Variance(s)	<input type="checkbox"/>	Use Permit	<input type="checkbox"/>	R1-S Overlay
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Tenant Improvement	<input type="checkbox"/>	General Plan/Code Amendment
<input type="checkbox"/>	Tentative Map/Division of Land	<input type="checkbox"/>	Preliminary Project Review	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Subdivision Map Review	<input type="checkbox"/>	Commercial Design Review	<input type="checkbox"/>	Other:

Project Address/Location: 15 San Juan Ct

Project Proposal/Use: Single Family Residence

Current Use of Property: Single Family Residence

Assessor Parcel Number(s) 170-13-047 Site Area: _____

New Sq. Ft.: 2514 Remodeled Sq. Ft.: Ø Existing Sq. Ft. to Remain: 2051

Total Existing Sq. Ft.: 2051 Total Proposed Sq. Ft. (including basement): 4564

Applicant's Name: Kacey Fitzpatrick, Avalon Enterprises Inc

Home Telephone #: 650 906-7029 Business Telephone #: 650 906-7029

Mailing Address: 151 Mountain View Ave

City/State/Zip Code: Los Altos CA 94024

Property Owner's Name: Reynette Av + Jeanine Valadez

Home Telephone #: 408-921-4313 Business Telephone #: _____

Mailing Address: 15 San Juan Ct

City/State/Zip Code: Los Altos, CA 94024 94022

Architect/Designer's Name: Kacey Fitzpatrick Telephone #: 650 906-7029

*** If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. ***

(continued on back)



NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 15 San Juan Ct
Scope of Project: Addition or Remodel X or New Home _____
Age of existing home if this project is to be an addition or remodel? 56 yrs
Is the existing house listed on the City's Historic Resources Inventory? No

Address: 15 San Juan Ct.
Date: April 9, 2014

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 10,000 square feet
Lot dimensions: Length 120 feet
Width 80 feet

If your lot is significantly different than those in your neighborhood, then note its: area 14,400, length 168, and width 80.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines) San Juan Ct:

- Existing front setback if home is a remodel? 24
- What % of the front facing walls of the neighborhood homes are at the front setback 90 %
- Existing front setback for house on left 25' ft./on right 22' ft.
- Do the front setbacks of adjacent houses line up? Yes

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

- Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)
Garage facing front projecting from front of house face 10
Garage facing front recessed from front of house face 1
Garage in back yard 0
Garage facing the side 0
Number of 1-car garages 11; 2-car garages 11; 3-car garages 0

Address: 15 San Juan Ct
Date: April 9, 2014

4. **Single or Two-Story Homes:**

What % of the homes in your neighborhood* are:

- One-story 20%
- Two-story 80%

5. **Roof heights and shapes:**

Is the overall height of house ridgelines generally the same in your neighborhood*? No

Are there mostly hip X, gable style X, or other style X roofs*?

Do the roof forms appear simple X or complex _____?

Do the houses share generally the same eave height No? Mix of 1+2 story

6. **Exterior Materials:** (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood*?

___ wood shingle X stucco ___ board & batten X clapboard
___ tile X stone X brick X combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

Wood Shake

If no consistency then explain: _____

7. **Architectural Style:** (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?

YES NO

Type? X Ranch ___ Shingle ___ Tudor ___ Mediterranean/Spanish
___ Contemporary ___ Colonial ___ Bungalow ___ Other

Address: 15 San Juan Ct.
Date: April 9, 2014

8. Lot Slope: (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)
N/A

- Is your slope higher _____ lower X same X in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?
our property is 4' lower than those on our South side

9. Landscaping: But level with the ones North + East of us

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

Most yards have lawns, small trees + shrubs,
mature manicured yards to street edge,
Also several tall trees, including 3 that will screen this addition.

How visible are your house and other houses from the street or back neighbor's property?

This house is the most inconspicuous on the block. It is
at end of cul-de-sac; the 2 story portion is set to the
rear and will be screened by 3 existing trees.

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

Large, mature trees + shrubs.
Right of way is landscaped to street edge

10. Width of Street:

What is the width of the roadway paving on your street in feet? 28' +/-

Is there a parking area on the street or in the shoulder area? on street

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? landscaped,
defined with a gutter

Address: 15 San Juan Ct.
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11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

While the neighborhood has a mix of heights and siding materials, every house has nice landscape, and tend to be of ranch style.

General Study

- A. Have major visible streetscape changes occurred in your neighborhood?
 YES NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?
 YES NO
- C. Do the lots in your neighborhood appear to be the same size?
 YES NO
- D. Do the lot widths appear to be consistent in the neighborhood?
 YES NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?
 YES NO
- F. Do you have active CCR's in your neighborhood? (p.36 Building Guide)
 YES NO
- G. Do the houses appear to be of similar size as viewed from the street?
 YES NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
 YES NO

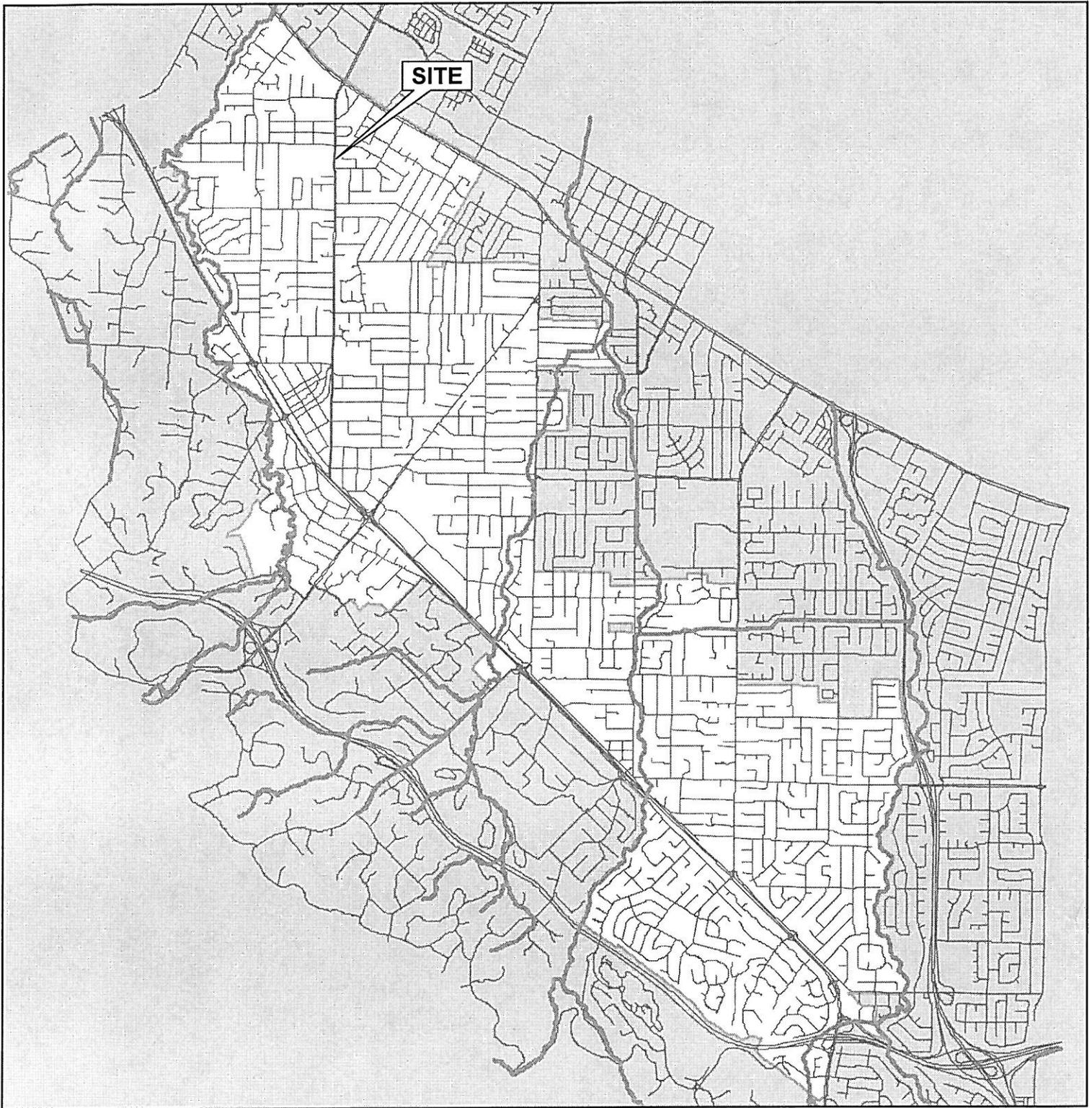
Address: 15 San Juan Ct
 Date: April 9, 2014

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
29 San Juan Ct	< 25'		front/carpport	2 stories	21'	shake roof clapboard	simple
32 San Juan Ct	25'		front	2 stories	22'	shake roof clapboard brick asphalt roof	simple
43 San Juan Ct	25'		front	2 stories	25'	clapboard stone	Complex
42 San Juan Ct	20'		set back	1 story	13'	shake roof clapboard brick	simple
57 San Juan Ct	25'		front	2 story	19'	shake roof clapboard, brick	Simple
66 San Juan Ct	25'		front	2 story	19'	shake roof stucco, brick vertical siding	simple
71 San Juan Ct	25'		front	1 1/2 story	17'	asphalt roof stucco, stone	simple
757 San Antonio	30'		front	1 story	~15'	asphalt roof stucco, brick vertical siding	simple
785 San Antonio	48'		front	2 story	27'	shake roof vertical siding	Simple

AREA MAP



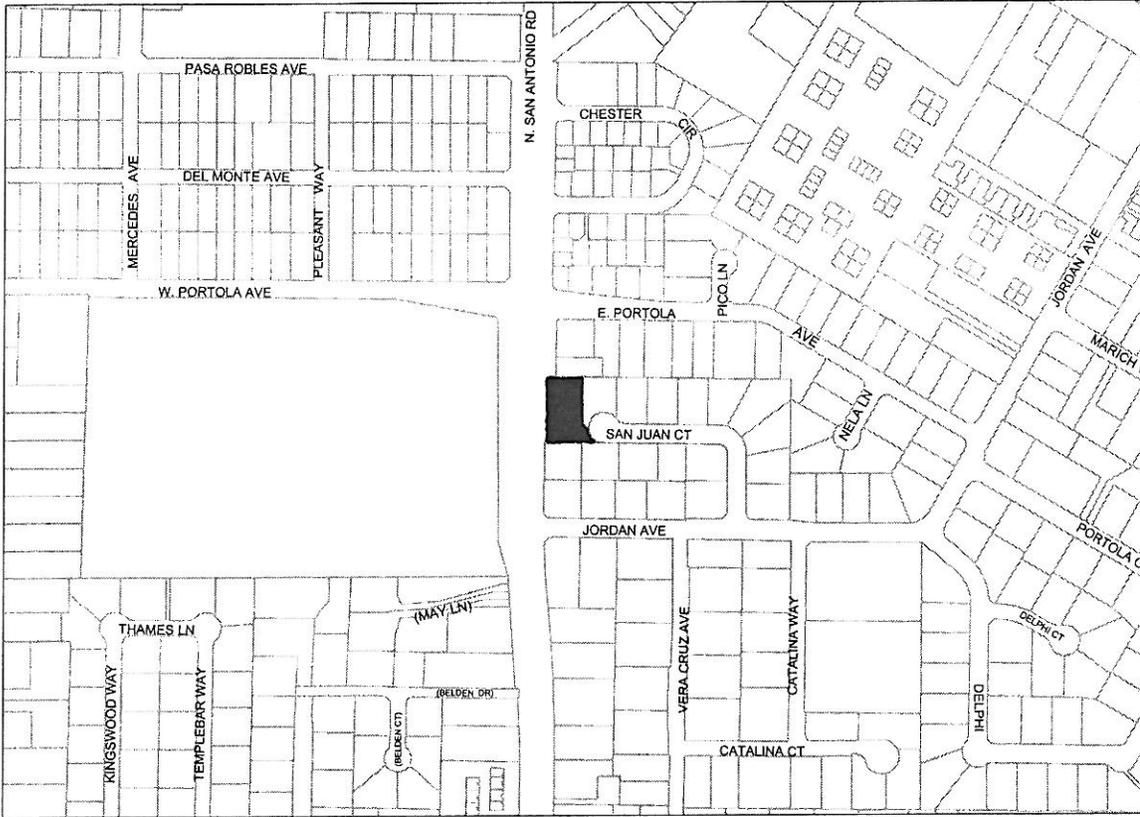
CITY OF LOS ALTOS

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APPLICANT: Avalon Enterprises Inc./R. Au and J. Valadez
SITE ADDRESS: 15 San Juan Court

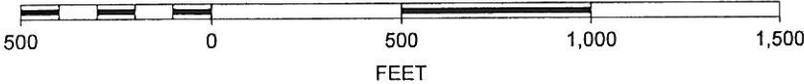


Not to Scale

VICINITY MAP



SCALE 1 : 6,000



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