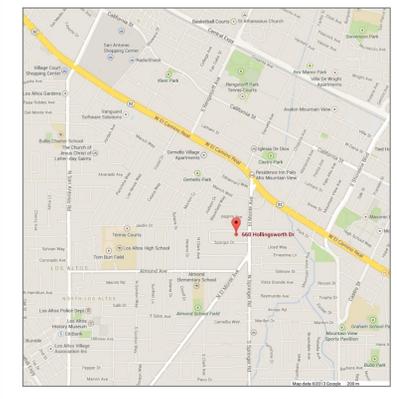


1 PROPOSED SITE PLAN
SCALE 1/8"=1'-0"

GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM WITH THE FOLLOWING CODES AS ADOPTED BY THE CITY OF SANTA CLARA:
 - 2013 CALIFORNIA RESIDENTIAL CODE
 - 2013 CALIFORNIA MECHANICAL CODE
 - 2013 CALIFORNIA PLUMBING CODE
 - 2013 CALIFORNIA FIRE CODE
 - 2013 CALIFORNIA ELECTRICAL CODE
 - 2013 GREEN BUILDING STANDARDS CODE
 - 2010 BUILDING ENERGY EFFICIENCY STANDARDS
 - CITY OF LOS ALTOS MUNICIPAL CODE
2. ALL EXISTING CONDITIONS SHALL BE VERIFIED FOR COMPATIBILITY WITH NEW CONSTRUCTION SHOWN HEREIN.
3. ALL NOTES AND DIMENSIONS SHALL BE FIELD VERIFIED.
4. WRITTEN DIMENSIONS SHALL BE OBSERVED OVER SCALED DIMENSIONS.
5. SIMILAR DETAILS SHALL APPLY TO SIMILAR CONDITIONS.
6. IN THE EVENT THAT DISCREPANCIES ARE FOUND IN THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED BEFORE WORK CAN PROCEED.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK REQUIRED TO COMPLETE THE PROJECT, INCLUDING BUT NOT LIMITED TO:
 - ALL PREPARATION FOR NEW WORK
 - THE REMOVAL OR RELOCATION OF ALL EXISTING PIPES, CONDUITS, WIRES, ETC., AS REQUIRED TO COMPLETE THE PROJECT
 - THE MATCHING OF ALL NEW MATERIALS AND TEXTURES, UNLESS NOTED OTHERWISE.

LOCATION MAP



| PROJEC SUMMARY TABLES | | | |
|---|---|--|-------------------------|
| ZONING COMPLIANCE | | | |
| | EXISTING | PROPOSED | ALLOWED/REQUIRED |
| LOT COVERAGE: <small>Land area covered by all structures that are over 6 feet in height</small> | 3,881 sq.ft. (29%) | 3,881 sq.ft. (29%) | 4,005.6 sq.ft. (30%) |
| FLOOR AREA <small>Measured to the outside surfaces of exterior walls</small> | 1st Flr: 2,945 sq.ft. 1st Flr: 218 sq.ft. Total: 3,163 sq.ft. (24%) | 1st Flr: 2,945 sq.ft. 1st Flr: 289 sq.ft. Total: 3,234 sq.ft. (24%) | 4,085 sq.ft. (24%) |
| SETBACKS: | | | |
| Front | 25 feet | 25 feet | 25 feet |
| Rear | 57 feet | 57 feet | 25 feet |
| Right side (1st/2nd) | 10 feet/ 54 feet | 10 feet/ 54 feet | 10 feet/ 17.5 feet |
| Left side (1st/2nd) | 10 feet/ 13.5 feet | 10 feet/ 13.5 feet | 10 feet/ 17.5 feet |
| HEIGHT: | 20.5 feet | 20.5 feet | 27 feet |
| SQUARE FOOTAGE BREAKDOWN | | | |
| | EXISTING | CHANGE IN | TOTAL PROPOSED |
| HABITABLE LIVING AREA: <small>Includes habitable basement areas</small> | 3,163 sq.ft. | 51 sq.ft. | 3,214 sq.ft. |
| NON-HABITABLE AREA: <small>Does not include covered porches or open structures</small> | 420 sq.ft. | 0 sq.ft. | 420 sq.ft. |
| LOT CALCULATIONS | | | |
| NET LOT AREA: | 13,352 square feet | | |
| FRONT YARD HARDSCAPE AREA: <small>Hardscape are in the front yard setback shall not exceed 50%</small> | 600 square feet (4%) EXISTING | | |
| LANDSCAPING BREAKDOWN: ALL EXISTING TO REMAIN | Total hardscape area (existing and proposed): _____ sq.ft. Existing softscape (undisturbed) area: _____ sq.ft. New softscape areas: _____ sq.ft. Sum of all three should equal the site's net lot area | | |

PROJECT DATA

PROPERTY ADDRESS:
660 HOLLINGSWORTH, LOS ALTOS CA

A.P.N. 170-20-019
ZONING: R-1-10 SINGLE FAMILY
LOT SIZE: 13,352 SQ.FT.

DESCRIPTION OF WORK

REMODEL EXISTING SINGLE HOME RESIDENCE.

AREA OF REMODEL IS EXISTING SECOND STORY BEDROOM. ONE NEW BATHROOM WILL BE CONSTRUCTED, WITH NEW GABLE ROOF.

51 SQ.FT. WILL BE ADDED.

CONTACTS

OWNER
JENNIFER MITCHELL & B. DELAGNEAU
660 HOLLINGSWORTH DR, LOS ALTOS, CA 94022
650 962 9575

DESIGNER
CORNELIA HABER
1490 HOLT AVE, LOS ALTOS, CA 94024
650-787-1197

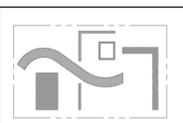
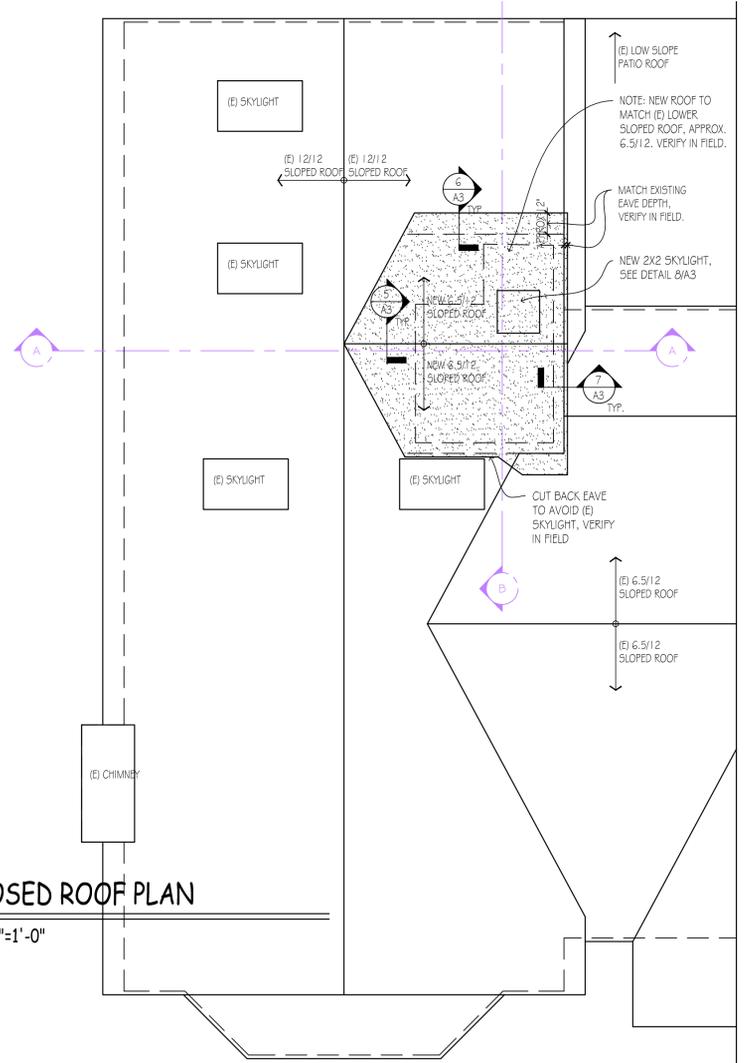
STRUCTURAL ENGINEER
4X ENGINEERING
4340 STEVENS CREEK BLVD., STE 172,
SAN JOSE, CA 95129
408-642-5464

TITLE 24
FRI ENERGY CONSULTANTS
21 N. HARRISON AVE., CAMPBELL, CA 95008
408-866-1620

SHEET INDEX

- A1 SITE PLAN, PROJECT DATA, ROOF PLAN
- A2 FLOOR PLAN, ELECTRICAL PLAN, NOTES, AREA DIAGRAMS
- A2.1 EXISTING FLOOR PLANS
- A3 EXTERIOR ELEVATIONS, BUILDING SECTIONS, DETAILS

2 PROPOSED ROOF PLAN
SCALE 1/4"=1'-0"



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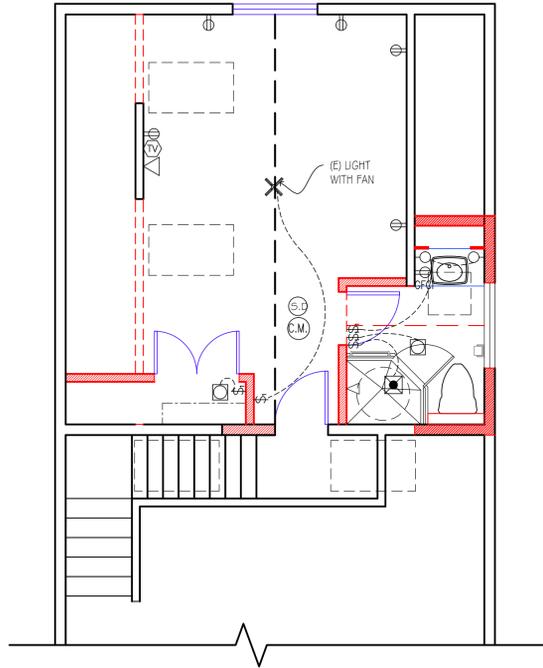
BATHROOM ADDITION
660 HOLLINGSWORTH DR, LOS ALTOS, CA

DATE MARCH 25, 2014

REVISIONS

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NOTE: VERIFY LOCATION OF EXISTING LIGHTING AND ELECTRICAL IN FIELD.



ELECTRICAL LEGEND

| | |
|--|--|
| | DUPLEX OUTLET |
| | 220 VOLT OUTLET |
| | ONE WAY SWITCH |
| | TWO WAY SWITCH |
| | UNDER CABINET FLUORESCENT LIGHT |
| | CEILING FLUORESCENT LIGHT/FAN |
| | CEILING FLUORESCENT LIGHT |
| | WALL MOUNTED LIGHT FIXTURE |
| | EXTERIOR WALL MOUNTED LIGHT |
| | EXTERIOR WALL MOUNTED LIGHT WITH MOTION DETECTOR |
| | CEILING MOUNTED LIGHT FIXTURE |
| | CEILING RECESSED FLUORESCENT LIGHT |
| | CEILING MOUNTED LOW VOLTAGE LIGHT FIXTURE |
| | TELEPHONE CONNECTION |
| | TV CONNECTION |
| | GARBAGE DISPOSAL |
| | GROUND FAULT CIRCUIT INTERRUPTOR |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | GAS CONNECTION |
| | DATA CONNECTION |
| | HOSE BIB |
| | GARAGE DOOR OPENER |
| | DOOR BELL |
| | DIMMER SWITCH |
| | HIGH EFFICACY CEILING FAN |

1 PROPOSED ELECTRICAL PLAN
SCALE 1/4"=1'-0"

GENERAL NOTES

- ALL DIMENSIONS ARE TO THE FACE OF FINISHED WALL, UNLESS NOTED OTHERWISE. DO NOT SCALE PLANS, USE NOTED DIMENSIONS. PLEASE CONTACT DESIGNER FOR ANY DISCREPANCIES.
- EACH BEDROOM SHALL HAVE ONE WINDOW THAT MEETS EGRESS REQUIREMENTS: MIN. 20" CLEAR WIDTH, MIN. 24" CLEAR HEIGHT WHEN OPEN, MIN. 5.7 SQ.FT. OF OPENABLE AREA (5.0 SQ.FT. FOR GRADE LEVEL ROOMS), AND MAX. HEIGHT OF 44" FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING. (2010 CBC 1026.2).
- TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS (2010 CBC 2406.3):
 - WITHIN A 2' ARC OF EITHER THE EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS -- <60" ABOVE THE WALKING SURFACE
 - GLAZING IN A WALL ENCLOSING A TUBSHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS < 60" ABOVE THE WALKING SURFACE.
 - GLAZING IN A WALL ENCLOSING STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE
 - ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE > 9 SQ.FT.
 - EXPOSED BOTTOM EDGE < 18" ABOVE THE FINISHED FLOOR
 - EXPOSED TOP EDGE IS > 36" ABOVE THE FINISHED FLOOR
 - WITHIN 36" HORIZONTALLY OF A WALKING SURFACE
- PROVIDE SMOKE ALARMS IN ALL SLEEPING ROOMS AND ADJOINING ROOMS AND ON EACH FLOOR LEVEL. (2010 CBC 907.2.1.0) ALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
- INSTALL CARBON MONOXIDE ALARMS.
- NEW WATER CLOSETS SHALL BE 1.28 GALLON. WIDTH OF WATER CLOSET COMPARTMENT SHALL BE MIN. 30" NET CLEAR, AND 24" CLEAR IN FRONT OF TOILET.
- INSULATE BATHROOM AND LAUNDRY SPACES WHEN THEY OCCUR NEXT TO, OR OVER BEDROOMS.
- TYPICAL THERMAL INSULATION SHALL BE:
 - R-30 FOR THE ATTIC/ROOF
 - R-13 FOR THE EXTERIOR WALLS
 - R-19 FOR FLOORS OVER UNHEATED SPACES
 - R-4.2 FOR HEATING AND COOLING DUCTS
- ALL NEW OR REPLACED WINDOWS SHALL BE CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS.
- ALL NEW OR REPLACED WINDOWS AND SKYLIGHTS SHALL BE DOUBLE GLAZED, AND SHALL HAVE A MAX. 0.67 U-FACTOR AND A MAX. 0.40 SOLAR HEAT GAIN COEFFICIENT. (CA TITLE 24 SECTION 152).
- SKYLIGHTS SHALL HAVE TINTED GLASS, REFER TO "VELLUX" CATALOG. SIZE SHALL BE AS SHOWN ON PLAN OR WINDOW SCHEDULE. ICBO NUMBER IS 216.

OPENINGS | ENERGY COMPLIANCE LIGHTING MEASURES

- PERMANENTLY INSTALLED LUMINARIES IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICACY (E.G. FLUORESCENT FIXTURES), OR ARE CONTROLLED BY AN OCCUPANT SENSOR THAT REQUIRE A MANUAL ON AND AUTOMATIC OFF. (CA TITLE 24 SECTION 150).
- NEW INSTALLED LIGHTING IN BEDROOMS, FAMILY ROOM, LIVING ROOMS, HALLWAYS, DINING ROOMS, ETC., SHALL BE HIGH EFFICIENCY FIXTURES (E.G. FLUORESCENT), OR ALL SWITCHES SHALL BE DIMMER SWITCHES, OR BE CONTROLLED BY AN OCCUPANT SENSOR WITH MANUAL ON AND AUTOMATIC OFF CONTROLS.
- CEILING MOUNTED RECESSED LIGHTING FIXTURES SHALL BE RATED AS AIR-TIGHT (AT) TO LESS THAN 2.0 CFM AT 75 PASCALS. WHEN INSTALLED INTO INSULATED CEILINGS THEY ARE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC), AND CERTIFIED TO "ASTM E283".

ELECTRICAL NOTES

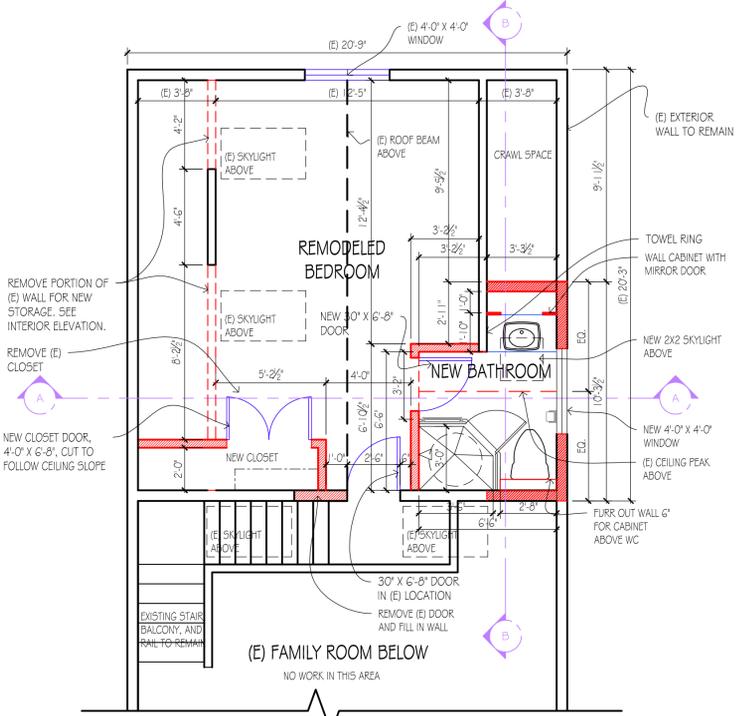
- GARAGE SHALL BE AFCI PROTECTED, INCLUDING SMOKE DETECTORS. ALL RECEPTACLES IN BATHROOMS, KITCHEN, LAUNDRY, AND GARAGE ARE TO BE GFCI PROTECTED.

INTERIOR FINISH NOTES

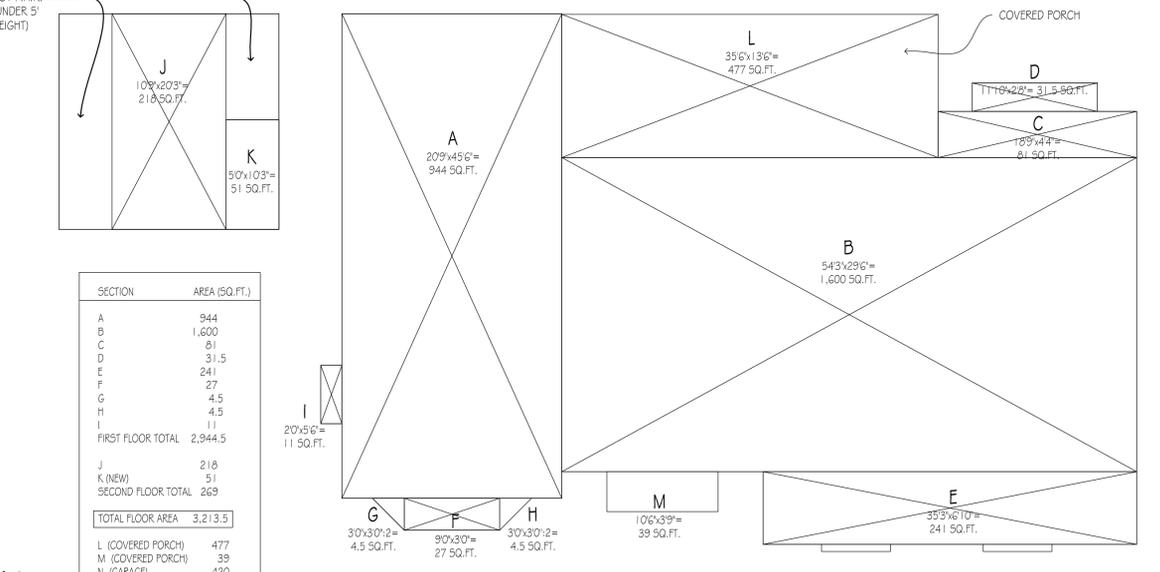
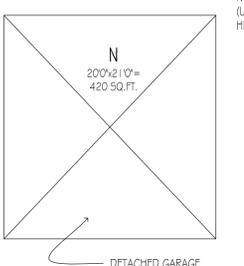
- TYPICAL TILE INSTALLATION SHALL BE: ONE LAYER WATER RESISTANT DRYWALL, 2 LAYERS OF #5 CRAFT PAPER, CERAMIC TILE PER OWNERS' SELECTION, SET IN MORTAR.
- AT SHOWER OR TUBSHOWER WALLS, THE CERAMIC TILE SHALL BE INSTALLED OVER A MOISTURE RESISTANT UNDERLAYMENT AS DESCRIBED ABOVE, TO A HEIGHT OF 80" ABOVE THE DRAIN INLET.
- AT SHOWERS INSTALL A HOT MOPPED TILE SHOWER PAN LINER.
- INSIDE WALL TEXTURE SHALL BE "ORANGE PEEL".
- INSTALL NEW 4.5" MDF BASEBOARDS, PAINTED.
- INTERIOR TRIM SHALL BE 3", PROFILE PER OWNERS' SELECTION.
- NEW WINDOW SILLS AND APRONS TO MATCH EXISTING.
- ALL INTERIOR DOORS SHALL BE WOOD, SOLID CORE, PRIMED AND PAINTED, INCLUDE ALL HARDWARE, PER OWNERS' SELECTION.
- FOR CABINETS AT BATHROOMS COORDINATE STYLE AND MATERIALS WITH OWNER. PAINT GRADE, STAIN GRADE.
- FLOOR FINISH AT BEDROOM SHALL BE LAMINATE FLOORING PER OWNERS' SELECTION.
- FLOOR FINISH AT BATHROOMS SHALL BE CERAMIC TILE PER OWNERS' SELECTION.
- COUNTERTOPS AT BATHROOMS SHALL BE GRANITE PER OWNERS' SELECTION.
- PROVIDE AND INSTALL ORGANIZER SHELVES AT CLOSETS, PER OWNERS' SELECTION.
- PROVIDE MIRRORS AT BATHROOM. COORDINATE STYLE AND SIZE WITH OWNER.
- PROVIDE AND INSTALL 4" MDF CROWN MOLDING, PAINTED, AT ALL ROOMS.

PLUMBING AND MECHANICAL NOTES

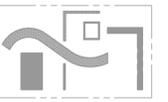
- PROVIDE AND INSTALL THERMAL INSULATION AT THE UNDERFLOOR HOT WATER PIPES.
- INSTALL INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE AT ALL TUBS, SHOWERS AND TUB-SHOWER COMBINATIONS.
- AT THE BATHROOMS AND POWDER ROOM PROVIDE AND INSTALL A MECHANICAL VENTILATION SYSTEM TO THE OUTSIDE, CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR, AS SPECIFIED PER UBC 12033.
- USE DUCT MASTIC ON ALL DUCT JOINTS AND SEAMS.
- THE MECHANICAL DUCT PENETRATIONS AT OCCUPANCY SEPARATION WALLS SHALL BE CONSTRUCTED OF STEEL HAVING THE THICKNESS OF NOT LESS THAN 0.019", NO.26 GALVANIZED SHEET GAGE, AND HAVE NO



2 PROPOSED SECOND FLOOR PLAN
SCALE 1/4"=1'-0"



3 FLOOR AREA DIAGRAMS
SCALE 1/8"=1'-0"



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BATHROOM ADDITION
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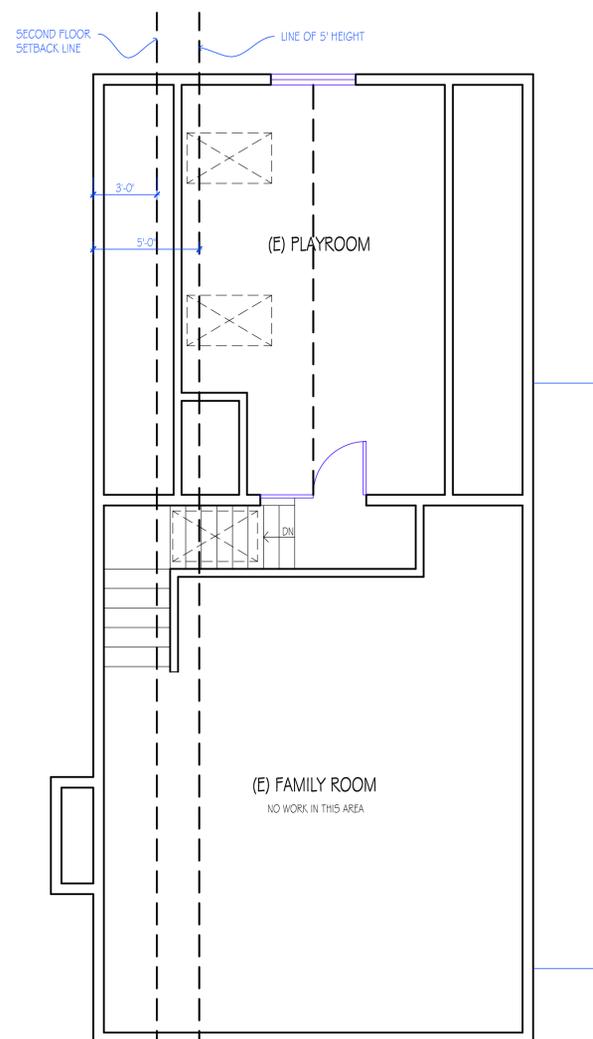
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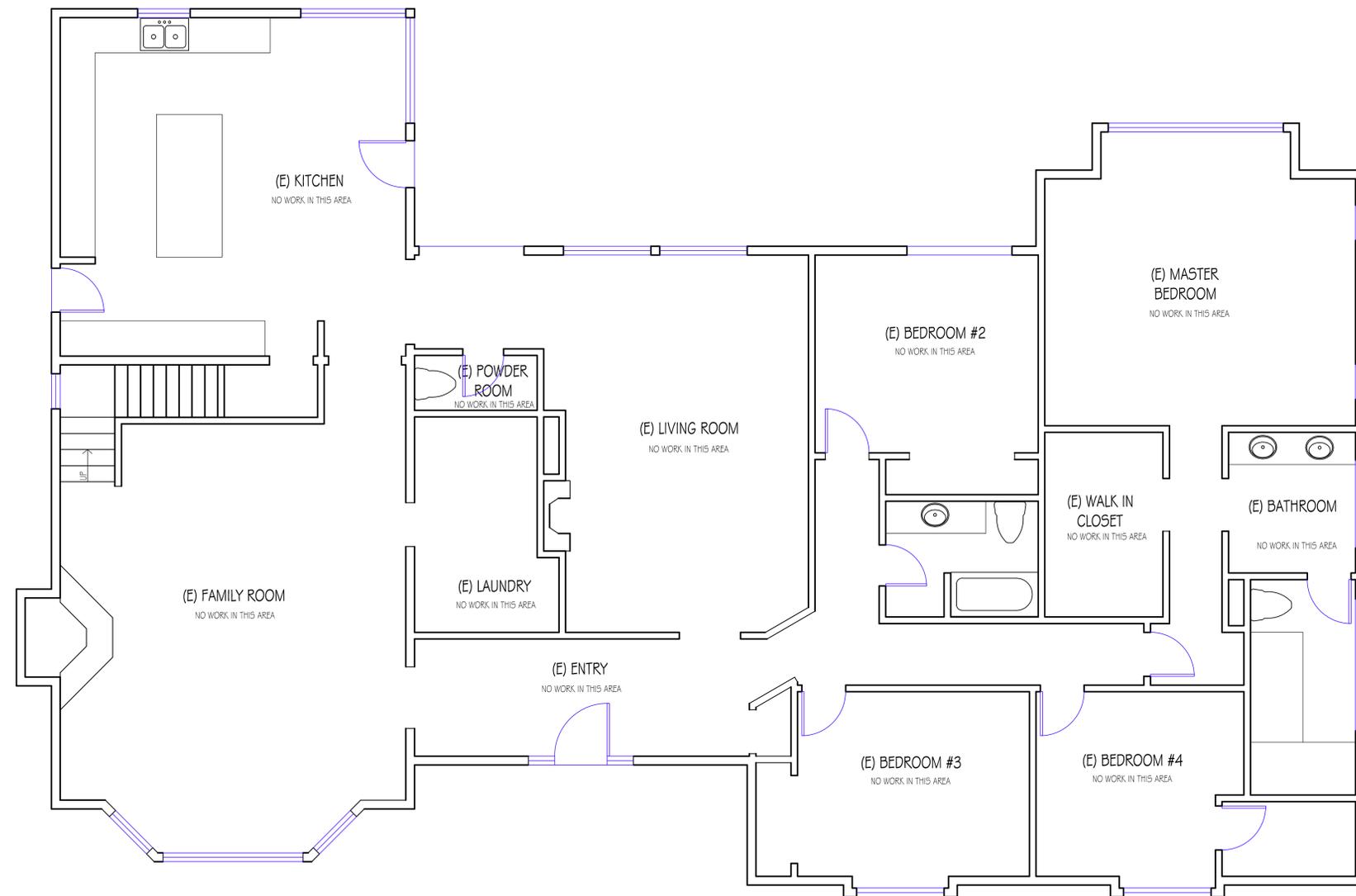
DATE MARCH 25, 2014

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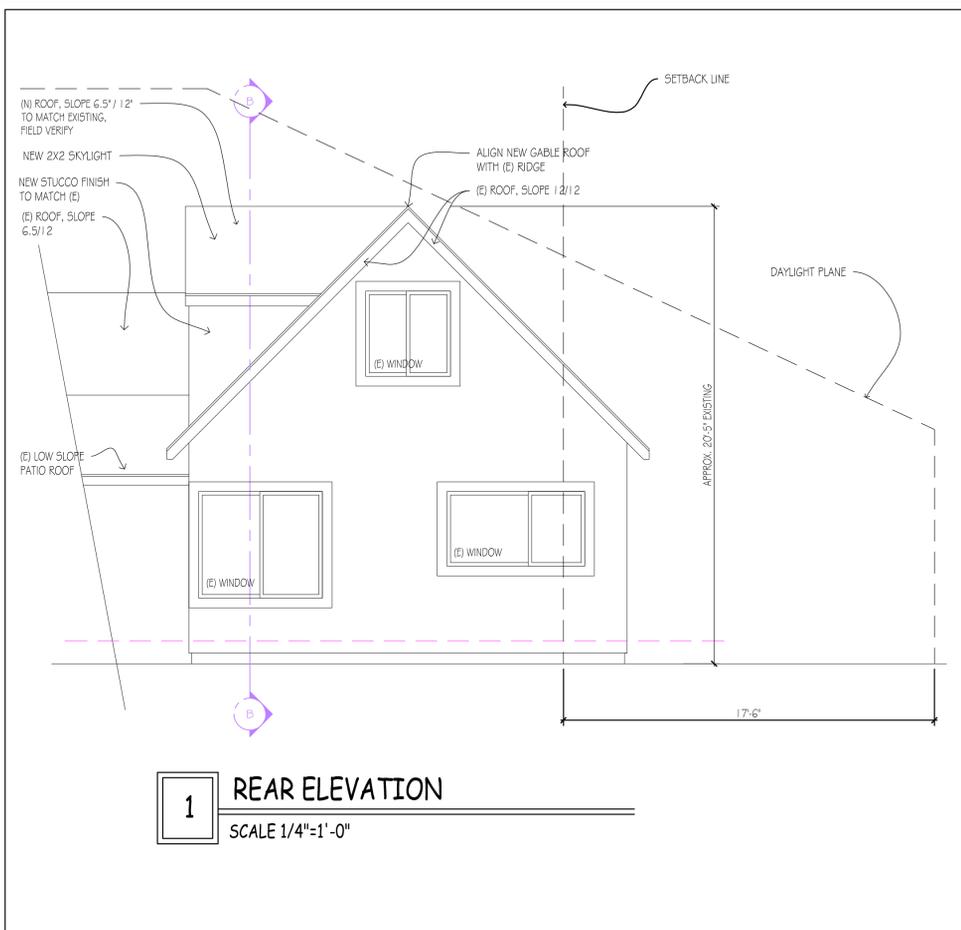
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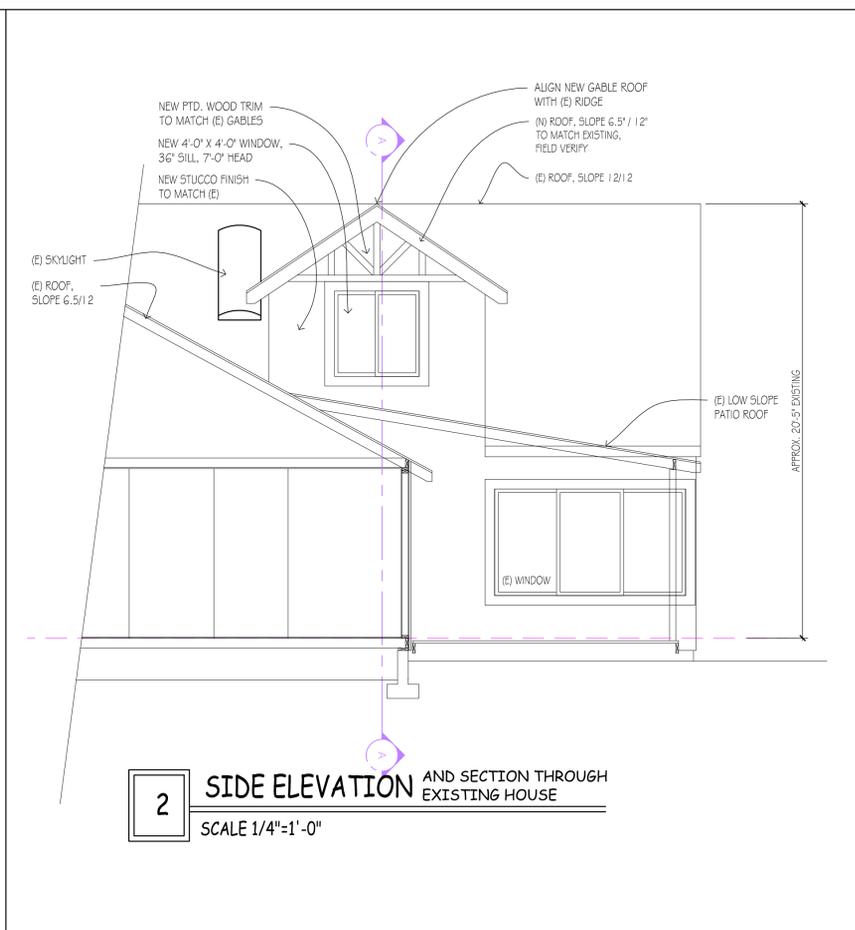
1 EXISTING SECOND FLOOR PLAN
SCALE 1/4"=1'-0"



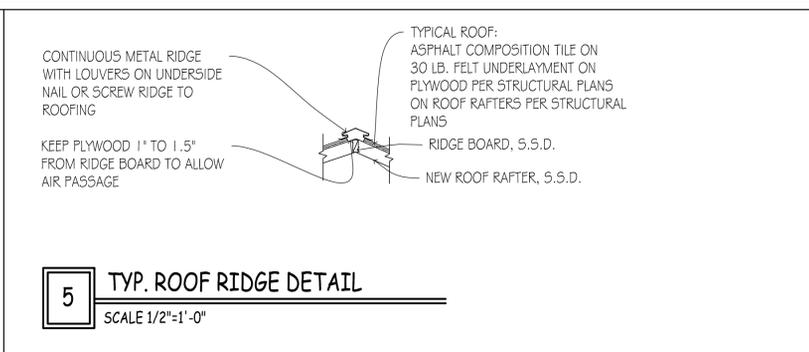
1 EXISTING FIRST FLOOR PLAN
SCALE 1/4"=1'-0"



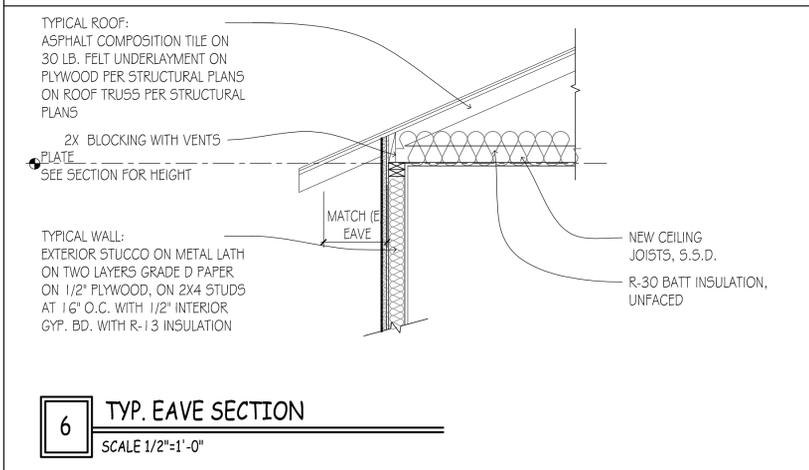
1 REAR ELEVATION
SCALE 1/4"=1'-0"



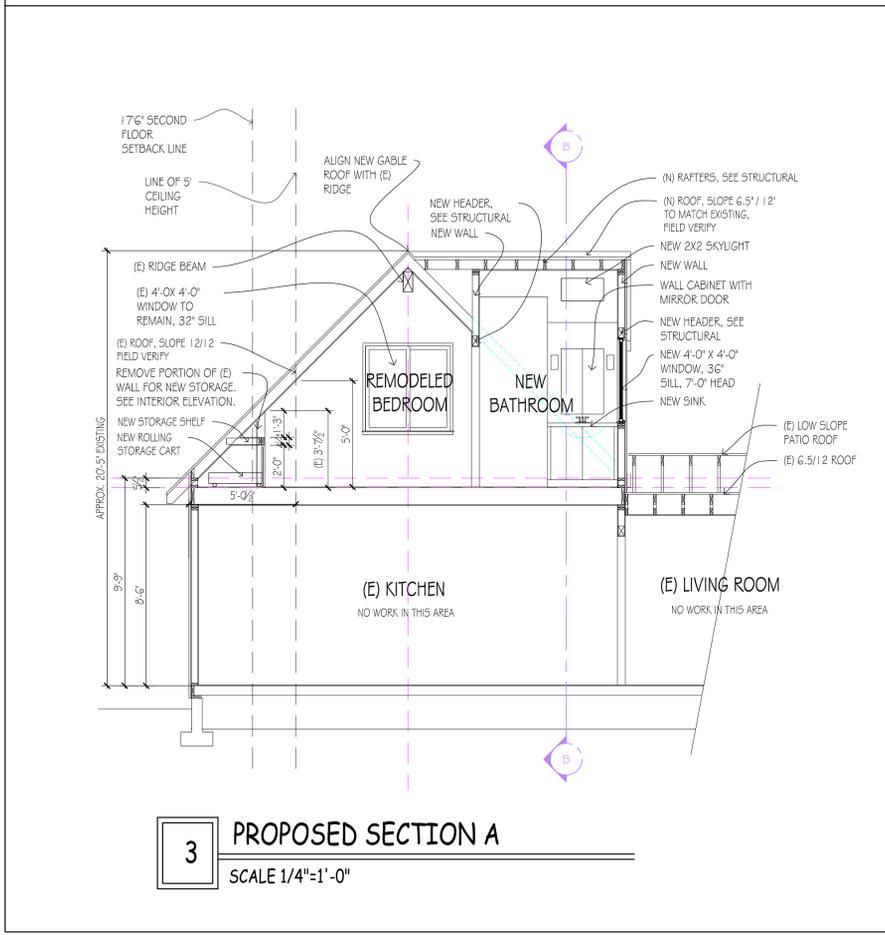
2 SIDE ELEVATION AND SECTION THROUGH EXISTING HOUSE
SCALE 1/4"=1'-0"



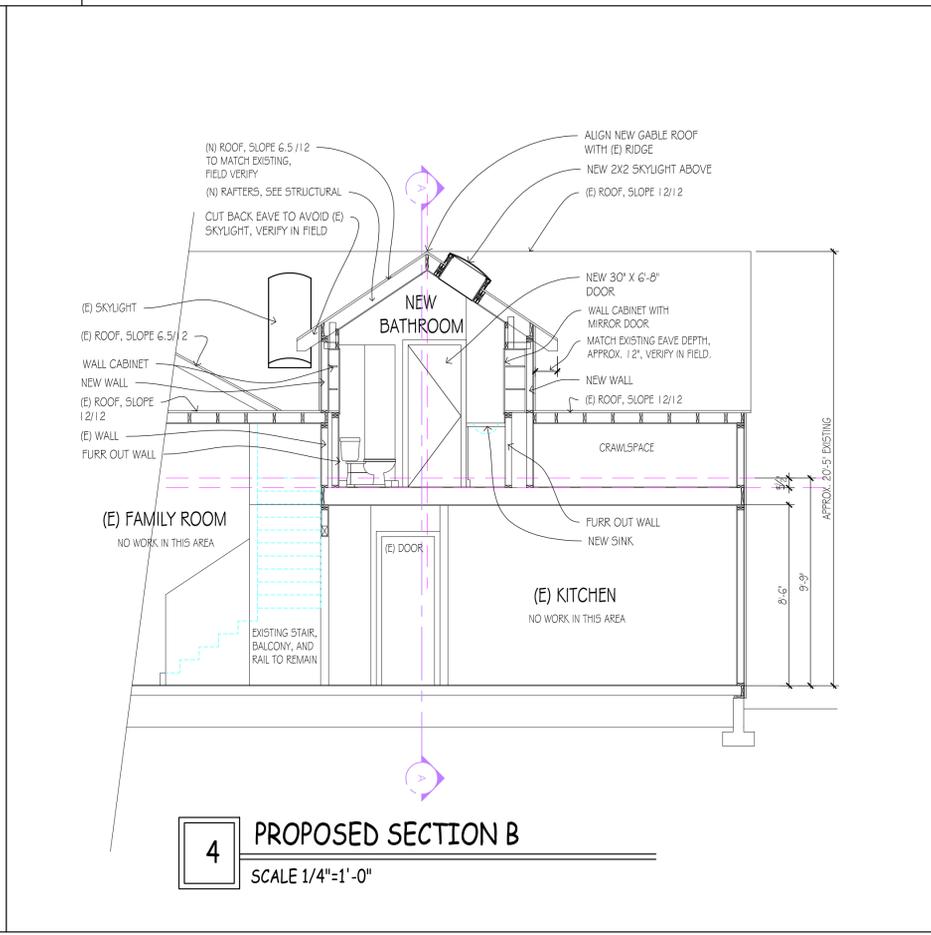
5 TYP. ROOF RIDGE DETAIL
SCALE 1/2"=1'-0"



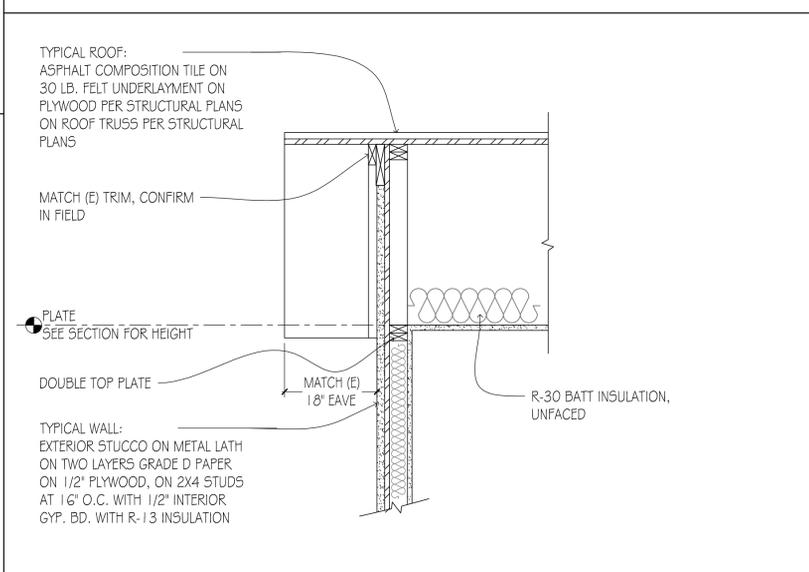
6 TYP. EAVE SECTION
SCALE 1/2"=1'-0"



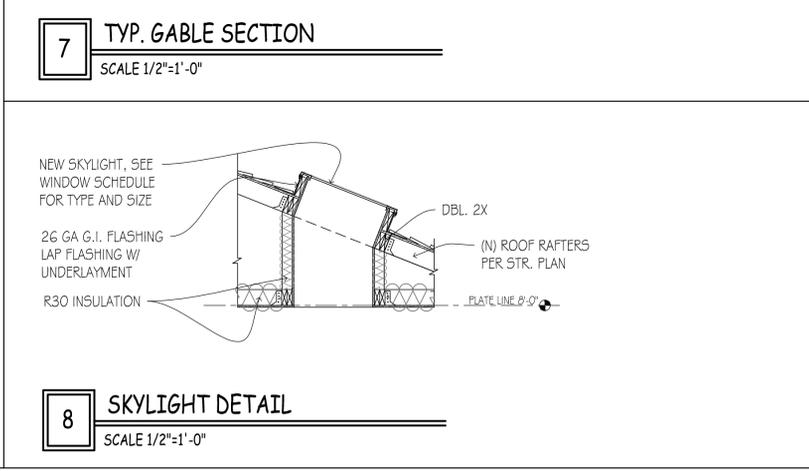
3 PROPOSED SECTION A
SCALE 1/4"=1'-0"



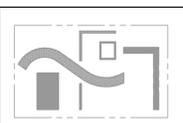
4 PROPOSED SECTION B
SCALE 1/4"=1'-0"



7 TYP. GABLE SECTION
SCALE 1/2"=1'-0"



8 SKYLIGHT DETAIL
SCALE 1/2"=1'-0"



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