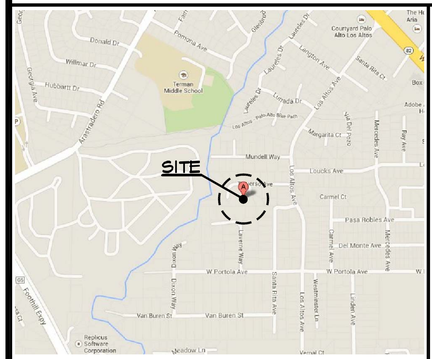
JAMES RESIDENCE

LOS ALTOS, CALIFORNIA

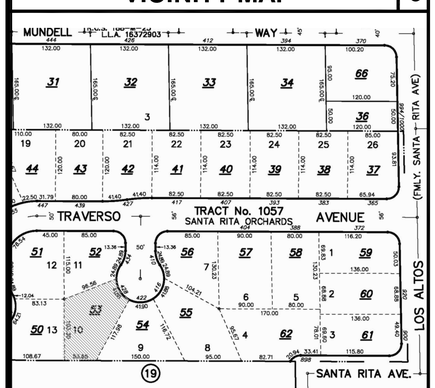
PROPOSED HOUSE RENDERING (FOR REFERENCE ONLY)

1



VICINITY MAP

6



PARCEL MAP

5

ARCHITECT
YOUNG AND BORLIK ARCHITECTS, INC.
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PALO ALTO, CA 94301
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FAX: (650) 323-1112
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ayoung @ ybarchitects. com

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SO. SAN FRANCISCO, CA 94080
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FAX: (650) 952-0667
ATTN: BRIAN KOCH
briankoch@tflandscapes.com

SURVEYOR & CIVIL ENGINEER:
NNR ENGINEERING
535 WEYBRIDGE DRIVE
SAN JOSE, CA 95123
TEL: (408) 348-7813
ATTN: NADIM RAFFOUL
nnrengineering@yahoo.com

GEOTECHNICAL ENGINEER
MURRAY ENGINEERING, INC.
GEOTECHNICAL SERVICES
935 FREMONT AVENUE
LOS ALTOS, CA 94024
TEL: (650) 559-9980
FAX: (650) 559-9985
ATTN: JOHN STILLMAN

GENERAL CONTRACTOR:
T.B.D.

PROJECT DESIGN DATA:

2010 CALIFORNIA BUILDING CODE - VOLUMES 1 & 2
2010 CALIFORNIA RESIDENTIAL CODE
2010 CALIFORNIA GREEN BUILDING STANDARDS CODE
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA ELECTRIC CODE
2010 CALIFORNIA FIRE CODE
2010 CALIFORNIA ENERGY CODE
ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE, I.E. SOILS REPORT, TITLE-24, STRUCTURAL CALCULATIONS, ARBORIST, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

CONSULTANTS

4

ARCHITECTURAL

A0.1	COVER SHEET, VICINITY MAP, CONSULTANTS, SHEET INDEX, PROJECT SUMMARY
A0.3	STREETSCAPE NEIGHBORHOOD CONTEXT- PHOTO
A0.4	STREETSCAPE NEIGHBORHOOD CONTEXT- SITE
A0.5	FLOOR AREA CALCULATION SHEET, PROJECT SUMMARY TABLE
A0.6	EXISTING SITE PLAN
A0.7	PROPOSED SITE PLAN
A2.1	PROPOSED FIRST FLOOR PLAN WITH DIMENSION
A2.3	PROPOSED SECOND FLOOR PLAN WITH DIMENSION
A2.5	PROPOSED ROOF PLAN
A3.0	EXISTING ELEVATION, COLOR BOARD
A3.1	PROPOSED EXTERIOR ELEVATIONS
A3.2	PROPOSED EXTERIOR ELEVATIONS
A4.1	PROPOSED BUILDING SECTIONS

CIVIL SURVEY

1	TOPOGRAPHIC SURVEY

CIVIL SITE IMPROVEMENT

C-1	GRADING & DRAINAGE PLAN

LANDSCAPE

L1.0	LANDSCAPE PLAN

SHEET INDEX

3

APN#:	167-14-053
OWNER:	JOHN AND DENISE JAMES
PROJECT ADDRESS:	428 TRAVERSO COURT LOS ALTOS, CA 94022
BUILDING OCCUPANCY:	R-3/ U
TYPE OF CONSTRUCTION:	V-N
ZONING:	R1-10
LOT SIZE:	10,227 sf
HISTORIC STATUS:	NO
FLOOD ZONE:	NO
STORIES:	2
FIRE SPRINKLERS:	YES
ALLOWABLE F.A.R: LOT COVERAGE ALLOWABLE (2 STORY):	3,579.5 sf (35%) 3,068.1 sf (30%)
FRONT & REAR SETBACK: SIDE SETBACK (1ST FLR/2ND FLR): HEIGHT LIMIT:	25' 10' / 17.5' 27'
PROPOSED FIRST FLOOR (CONDITIONED AREA): PROPOSED SECOND FLOOR (CONDITIONED AREA):	1,975.3 sf 1,194.5 sf
PROPOSED TOTAL RESIDENCE CONDITIONED AREA:	3,169.8 sf
PROPOSED ATTACHED GARAGE (UNCONDITIONED):	409.4 sf
TOTAL F.A.R.	3,579.2 sf = 35% < 3,579.5 sf
PROPOSED COVERED PORCH & TRELLIS:	269.1 sf
LOT COVERAGE:	1,975.3 sf + 409.4 sf + 269.1 sf = 2,653.8 sf = 26% < 3,068.1 sf

SEE SHEET A0.5 FOR AREA CALCULATION AND PROJECT SUMMARY TABLE

PROJECT SUMMARY

2

ISSUE LOG

PLANNING SUBMITTAL
NOV. 14. 2013

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NEW RESIDENCE FOR:
JOHN AND DENISE JAMES
428 TRAVERSO COURT
LOS ALTOS, CA 94022

A.P.N. 167-14-053

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AEY	HW, JHS

DATE
SEPT. 15, 2013

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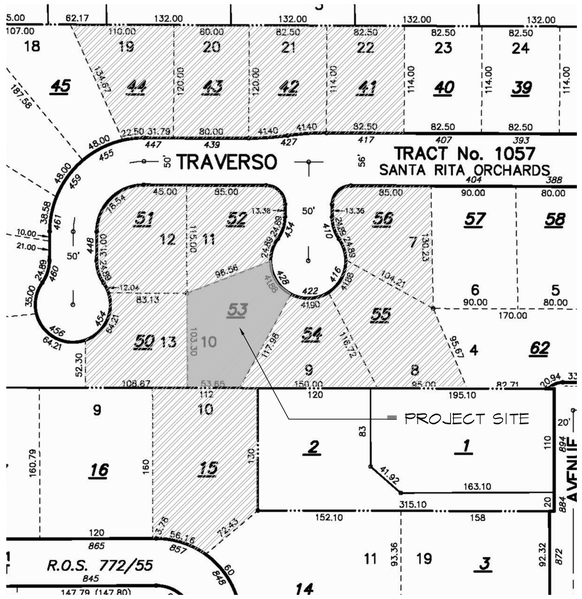
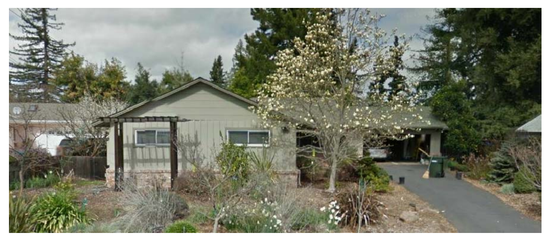


PROPOSED 428 TRAVERSO CT.
(PROJECT SITE)

EXISTING 428 TRAVERSO CT.
(PROJECT SITE)

447 TRAVERSO AVE.



439 TRAVERSO AVE.

427 TRAVERSO AVE.

417 TRAVERSO AVE.

857 LAVERNE WAY

454 TRAVERSO AVE.

448 TRAVERSO AVE.

434 TRAVERSO CT.

428 TRAVERSO CT.
(PROJECT SITE)

422 TRAVERSO CT.

416 TRAVERSO CT.

410 TRAVERSO CT.

NEIGHBORHOOD STREET SCAPE

1

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NOV. 14. 2013

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LICENSED ARCHITECT ANDREW ERIC YOUNG C-21679 REG. 4-30-15 STATE OF CALIFORNIA

NEW RESIDENCE FOR:
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428 TRAVERSO COURT
LOS ALTOS, CA 94022

A.P.N. 167-14-053

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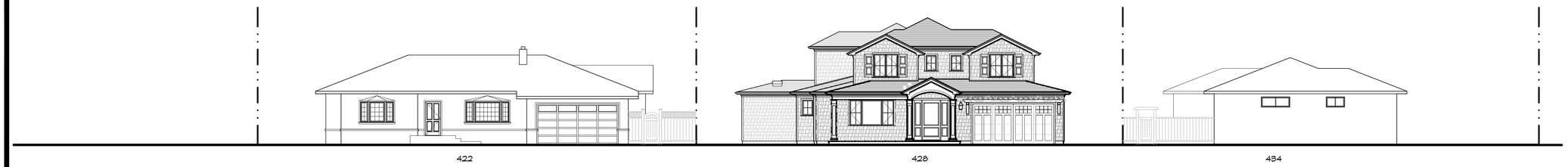
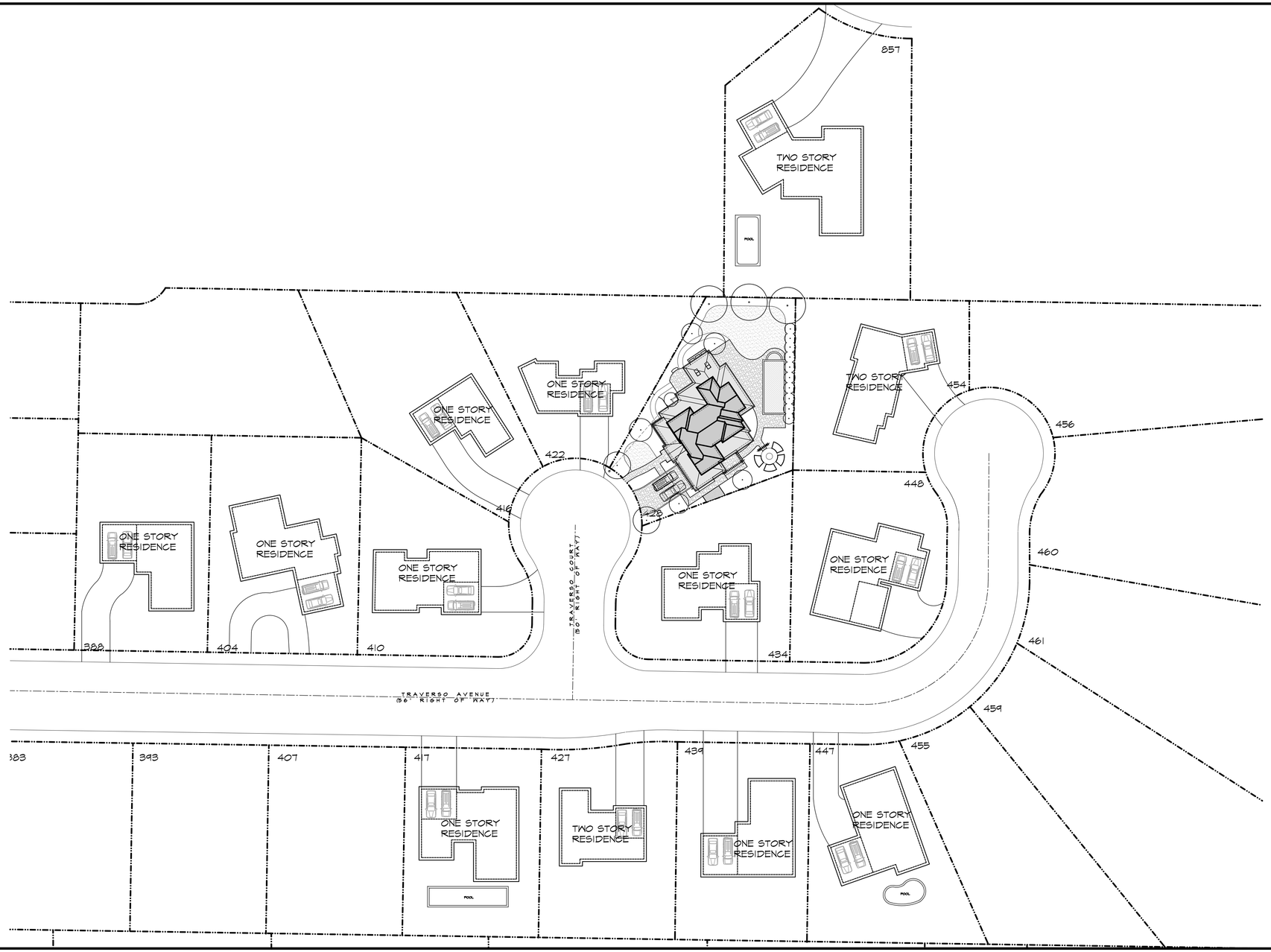


STREETSCAPE

3/32" = 1'-0" | 2



NEIGHBOR'S CONTEXT - SITE PLAN

1/32" = 1'-0" | 1

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NOV. 14. 2013

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LICENSED ARCHITECT ★ STATE OF CALIFORNIA ★ ANDREW ERNLE YOUNG C-21679 REN. 4-30-15

NEW RESIDENCE FOR:
JOHN AND DENISE JAMES
428 TRAVERSO COURT
LOS ALTOS, CA 94022

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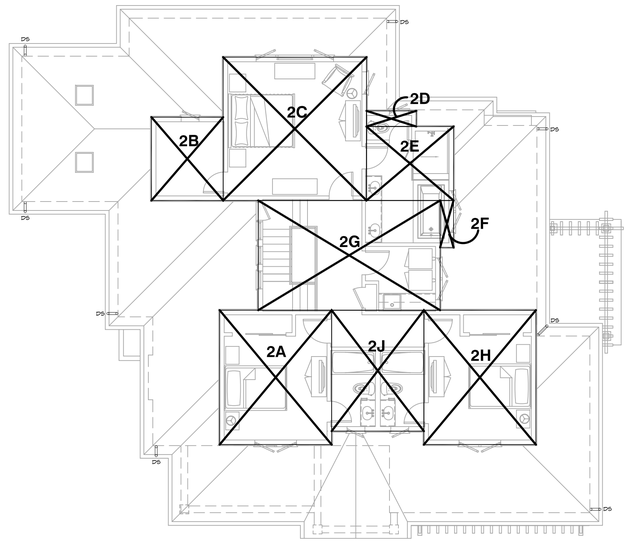

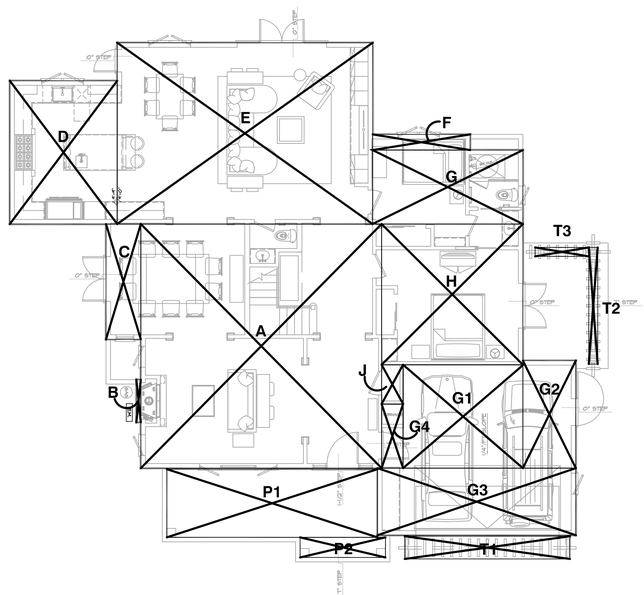

PROJECT SUMMARY TABLE
428 TRAVERSO COURT
LOS ALTOS, CA 94022

NET LOT AREA:	10,227 sq. ft.		
	Existing	**Change in**	**Total Proposed**
% OF FRONT YARD PAVING	N/A	N/A	542.8 sq. ft.
HABITABLE LIVING AREA: (includes habitable basement area)	1,795.9 sq. ft.	1,349.3 sq. ft.	3,145.2 sq. ft.
NON-HABITABLE AREA	440 sq. ft.	-7.3 sq. ft.	432.7 sq. ft.

	Existing	**Proposed**	**Allowed/Required**
LOT COVERAGE: (land area covered by all structures that are over 6 feet in height)	2,180.7 sq. ft. 21%	2,653.8 sq. ft 26%	3,068.1 sq. ft 30%
FLOOR AREA:	1st Flr: 1,690.3 sq. ft. 2nd Flr: 0 sq. ft Garage: 440 sq. ft. Total: 2,130.3 sq. ft. 21%	1st Flr: 1,975.3 sq. ft. 2nd Flr: 1,194.5 sq. ft Garage: 409.4 Total: 3,579.5 sq. ft. 35%	3,579.5 sq. ft. 35%
SETBACKS: Front Rear Right Side (1st/2nd) Left Side (1st/2nd)	 26 feet 1-1/2 inch 16 feet 1 inch 13 feet 1-1/2 inch 10 feet	 30 feet 2 inch 25 feet 1 inch 10 feet 1 inch/ 17 feet 7 inch 10 feet 2-1/2 inch / 17 feet 6 inch	 25 feet 25 feet 10 feet / 17.5 feet 10 feet / 17.5 feet
HEIGHT:	To be determined by civil		24 feet 11-7/8 inch

SECOND FLOOR

2A	12'-6" x 15'-0"	188.1 SF
2B	8'-0" x 9'-4"	74.6 SF
2C	16'-0" x 16'-0"	256.5 SF
2D	5'-7" x 1'-9"	9.7 SF
2E	9'-9" x 8'-3"	80.4 SF
2F	1'-6" x 5'-3"	8 SF
2G	20'-4" x 12'-3"	249.1 SF
2H	12'-6" x 15'-0"	188.1 SF
2J	10'-4" x 13'-6"	140 SF
SECOND FLOOR TOTAL (CONDITIONED)		1,194.5 SF

FIRST FLOOR

A	26'-11" x 27'-4"	735.6 SF
B	0'-6" x 4'-9"	2.2 SF
C	3'-11" x 12'-11"	50.5 SF
D	12'-0" x 16'-0"	192 SF
E	28'-7" x 20'-3"	578.7 SF
F	10'-11" x 1'-9"	19 SF
G	16'-10" x 8'-3"	138.7 SF
H	15'-9" x 15'-9"	248 SF
J	2'-5" x 4'-5"	10.6 SF
FIRST FLOOR TOTAL (CONDITIONED)		1,975.3 SF
G1	13'-5" x 11'-7"	155.1 SF
G2	5'-11" x 12'-0"	71 SF
G3	22'-2" x 7'-6"	166.2 SF
G4	2'-5" x 7'-2"	17.1 SF
GARAGE TOTAL (UNCONDITIONED)		409.4 SF
P1	7'-8" x 23'-7"	181 SF
P2	2'-3" x 9'-6"	21.3 SF
T1	2'-7" x 18'-6"	47.8 SF
T2	1'-0" x 13'-1"	13 SF
T3	1'-0" x 6'-0"	6 SF
COVERED TOTAL (UNCONDITIONED)		269.1 SF

TOTAL FLOOR AREA: 1,975.3 + 1,194.5 + 409.1 = 3,579.2 SF = 35% < 3,579.5 SF

TOTAL COVERAGE: 1,975.3 + 409.4 + 269.1 = 2,653.8 SF = 26% < 3,068.1 SF

AREA CALCULATION

1/8 = 1'-0" | 1

ISSUE LOG
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NOV. 14. 2013

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NEW RESIDENCE FOR:
JOHN AND DENISE JAMES
428 TRAVERSO COURT
LOS ALTOS, CA 94022

A.P.N. 167-14-053

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SEPT. 15, 2013

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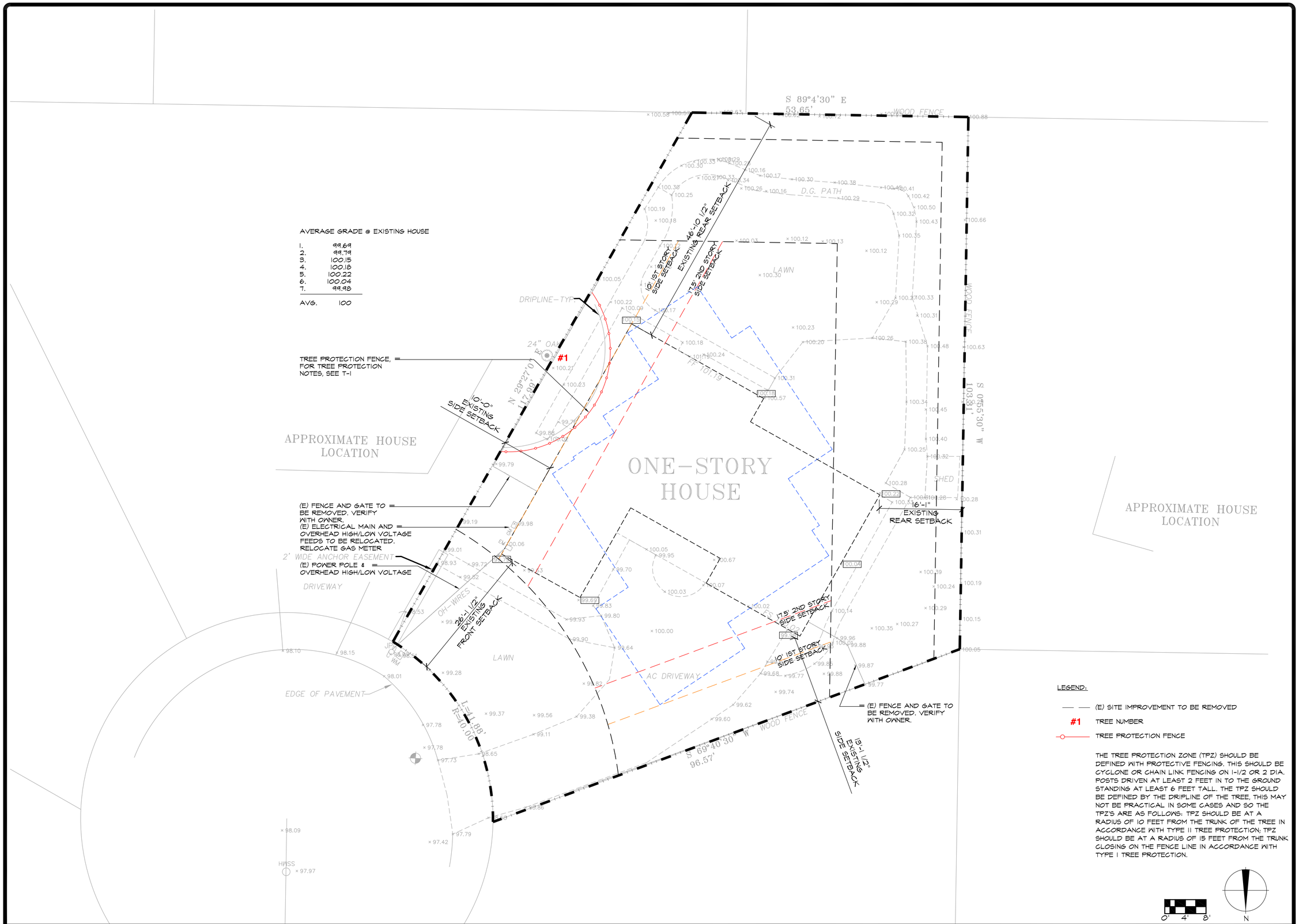

AVERAGE GRADE @ EXISTING HOUSE

1.	99.69
2.	99.79
3.	100.15
4.	100.18
5.	100.22
6.	100.04
7.	99.98
AVG.	100

TREE PROTECTION FENCE, FOR TREE PROTECTION NOTES, SEE T-1

LEGEND:

- (E) SITE IMPROVEMENT TO BE REMOVED
- #1 TREE NUMBER
- TREE PROTECTION FENCE

THE TREE PROTECTION ZONE (TPZ) SHOULD BE DEFINED WITH PROTECTIVE FENCING. THIS SHOULD BE CYCLONE OR CHAIN LINK FENCING ON 1-1/2 OR 2 DIA. POSTS DRIVEN AT LEAST 2 FEET IN TO THE GROUND STANDING AT LEAST 6 FEET TALL. THE TPZ SHOULD BE DEFINED BY THE DRIPLINE OF THE TREE, THIS MAY NOT BE PRACTICAL IN SOME CASES AND SO THE TPZ'S ARE AS FOLLOWS: TPZ SHOULD BE AT A RADIUS OF 10 FEET FROM THE TRUNK OF THE TREE IN ACCORDANCE WITH TYPE II TREE PROTECTION; TPZ SHOULD BE AT A RADIUS OF 15 FEET FROM THE TRUNK CLOSING ON THE FENCE LINE IN ACCORDANCE WITH TYPE I TREE PROTECTION.

EXISTING SITE PLAN w/ DEMO NOTES

1/8" = 1'-0" | 1

ISSUE LOG
PLANNING SUBMITTAL
NOV. 14, 2013

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428 TRAVERSO COURT
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Required setbacks per Planning Division calculations for locating air conditioning units in order to meet the Noise Control Ordinance limit of 50 dBA at the property line.

Sound Rating (Decibels)	Distance to Property Line
64	6 feet
66	8 feet
68	11 feet
70	14 feet
72	18 feet
74	22 feet

Notes:

1. Air conditioning equipment must maintain a minimum setback of five-foot from a property line.
2. If the air conditioning unit is later determined by the City to exceed the limits of the noise ordinance, it must be relocated, replaced, or otherwise modified to achieve compliance with the noise ordinance.

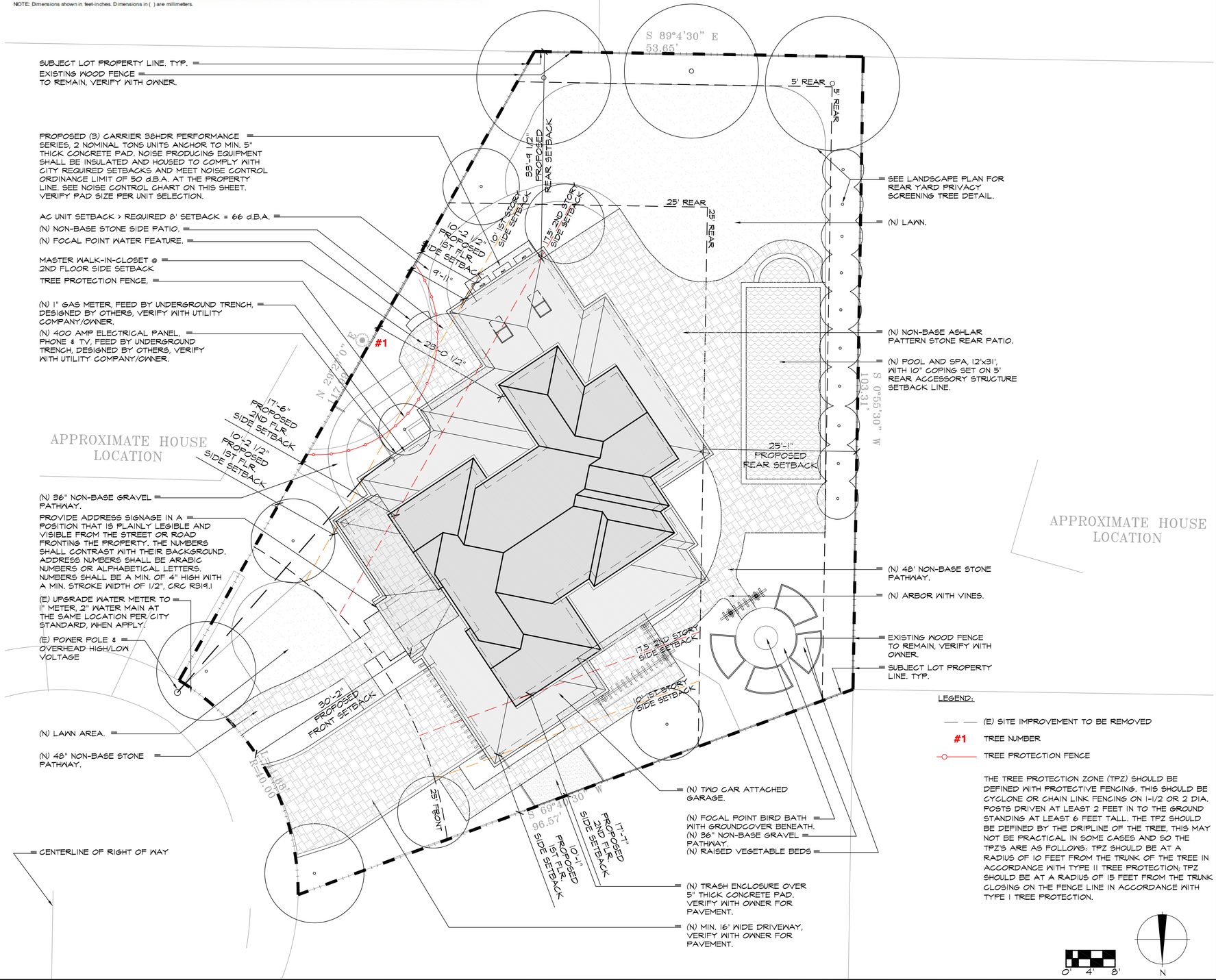
DIMENSIONS

UNIT MODELS 38HDR Unit Size	CHASSIS SIZE (Reference)	A	B	C	D	E	F	G	H	J	K	L	N	P
018	0	2'-1 1/16" (638.2)	3'-0 15/16" (938.2)	1'-2 9/16" (369.9)	1'-4" (406.4)	1'-11 7/16" (595.3)	1'-5 9/16" (436.6)	1'-5 1/8" (435)	1'-10" (559.1)	1'-1" (330.2)	0'-6 9/16" (168.3)	0'-11 7/16" (285.8)	0'-2 15/16" (75)	0'-6" (152.4)
024	0.6	2'-7 1/8" (790.6)	3'-0 15/16" (938.2)	1'-2 9/16" (369.9)	1'-4" (406.4)	1'-11 7/16" (595.3)	1'-5 9/16" (436.6)	1'-1 11/16" (587.4)	2'-4" (711.5)	1'-2" (355.6)	0'-6 3/4" (171.5)	0'-11 5/8" (295.3)	0'-2 15/16" (75)	0'-6" (152.4)
030, 036	1.0	3'-1 7/8" (944.6)	3' - 8 1/2" (1131.9)	1'-5 1/4" (433.4)	1'-6 7/16" (468.3)	2'-6 1/8" (774.7)	1'-7 3/8" (498.5)	2'-5 3/16" (741)	2'-10 7/16" (865.5)	1'-11 7/16" (347.7)	0'-8 1/8" (206.4)	1'-3 7/8" (403.2)	0'-3 7/16" (88)	0'-6 1/2" (165.4)
048, 060	1.6	3'-7 9/16" (1097)	3' - 8 1/2" (1131.9)	1'-5 1/4" (433.4)	1'-6 7/16" (468.3)	2'-6 1/8" (774.7)	1'-7 3/8" (498.5)	2'-11 13/16" (893.4)	3'-4 1/16" (1017.9)	1'-2 1/2" (354.2)	0'-8 1/2" (215.9)	1'-6 7/8" (479.4)	0'-3 7/16" (88)	0'-6 1/2" (165.4)

NOTE: Dimensions shown in feet-inches. Dimensions in ( ) are millimeters.

A-WEIGHTED SOUND LEVEL (dBA)

Unit Size	Standard Rating	Typical Octave Band Spectrum (dBA) (without tone adjustment)						
		125	250	500	1000	2000	4000	8000
018	69	54.7	58.2	63.6	64.2	61.8	56.6	45.4
024	66	51.7	56.0	58.9	59.0	59.2	55.8	44.2
030	71	57.6	61.0	64.5	64.3	63.1	62.1	54.9
036	72	61.0	60.3	63.3	64.3	63.0	64.1	56.7
048	71	61.1	61.6	64.0	64.8	62.9	60.0	53.3
060	72	63.8	62.6	64.7	65.2	63.3	59.0	51.3



LEGEND:

- (E) SITE IMPROVEMENT TO BE REMOVED
- #1 TREE NUMBER
- TREE PROTECTION FENCE

THE TREE PROTECTION ZONE (TPZ) SHOULD BE DEFINED WITH PROTECTIVE FENCING. THIS SHOULD BE CYCLONE OR CHAIN LINK FENCING ON 1-1/2 OR 2 DIA. POSTS DRIVEN AT LEAST 2 FEET IN TO THE GROUND STANDING AT LEAST 6 FEET TALL. THE TPZ SHOULD BE DEFINED BY THE DRIPLINE OF THE TREE, THIS MAY NOT BE PRACTICAL IN SOME CASES AND SO THE TPZ'S ARE AS FOLLONS: TPZ SHOULD BE AT A RADIUS OF 10 FEET FROM THE TRUNK OF THE TREE IN ACCORDANCE WITH TYPE II TREE PROTECTION; TPZ SHOULD BE AT A RADIUS OF 15 FEET FROM THE TRUNK CLOSING ON THE FENCE LINE IN ACCORDANCE WITH TYPE I TREE PROTECTION.

PROPOSED SITE PLAN

1/16" = 1'-0" | 1

ISSUE LOG
PLANNING SUBMITTAL
NOV. 14, 2013

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NEW RESIDENCE FOR:
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428 TRAVERSO COURT
LOS ALTOS, CA 94022

A.P.N. 167-14-053

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DATE: SEPT. 15, 2013

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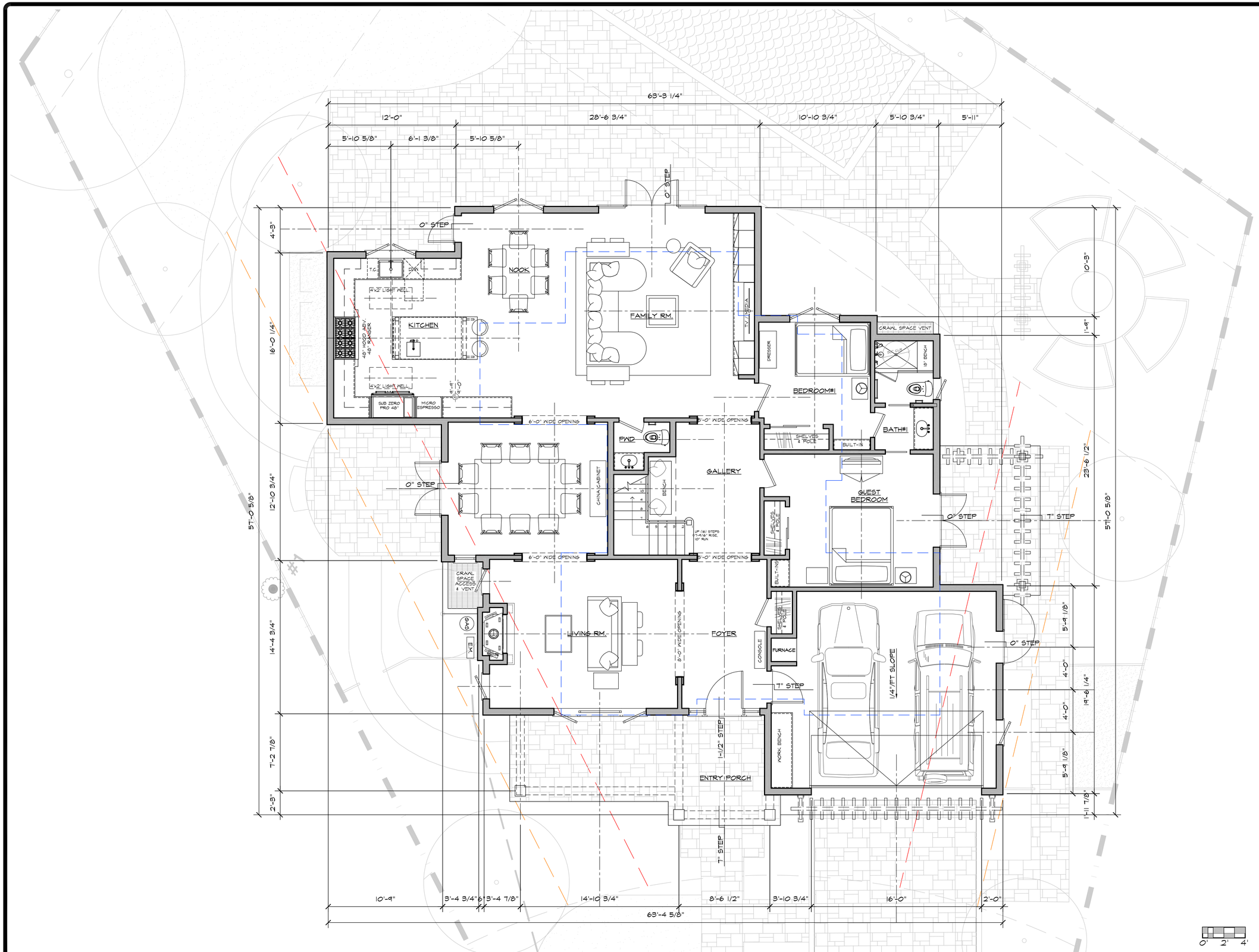

PROPOSED FIRST FLOOR PLAN WITH DIMENSION

1/4" = 1'-0" | 1

ISSUE LOG
PLANNING SUBMITTAL
NOV. 14. 2013

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A.P.N. 167-14-053

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AEY	HW, JHS

DATE
SEPT. 15, 2013

JOB #
JAMESJOHN

A2.1

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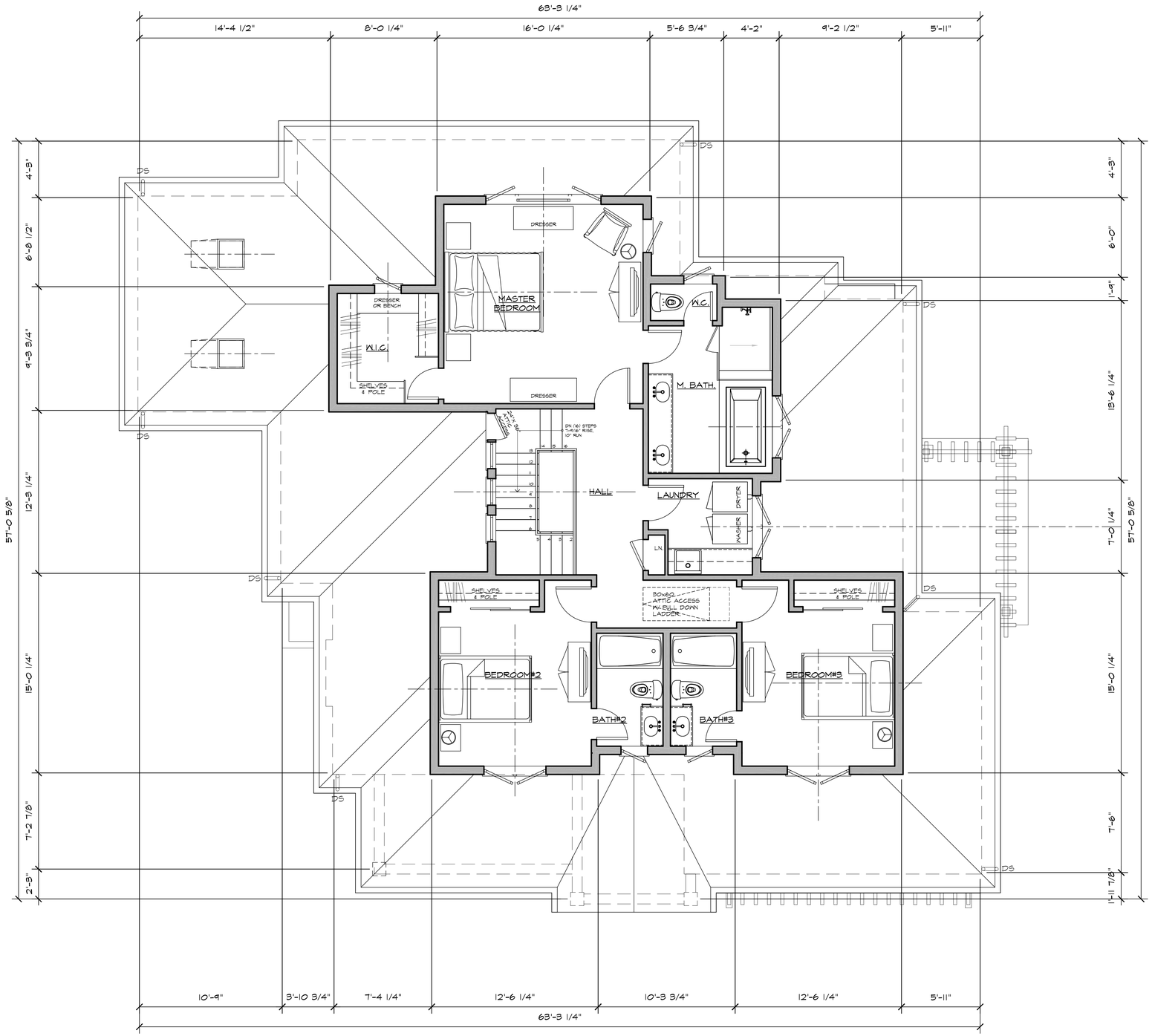

PROPOSED SECOND FLOOR PLAN WITH DIMENSION

1/4" = 1'-0" | 1

ISSUE LOG
PLANNING SUBMITTAL NOV. 14. 2013

YOUNG AND BORLIK
ARCHITECTS, INCORPORATED
480 LYTTON AVENUE, SUITE #8 PALO ALTO, CA 94301
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com

LICENSED ARCHITECT ANDREW EARLE YOUNG C-21679 STATE OF CALIFORNIA

NEW RESIDENCE FOR:
JOHN AND DENISE JAMES
428 TRAVERSO COURT
LOS ALTOS, CA 94022

A.P.N. 167-14-053

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SEPT. 15, 2013

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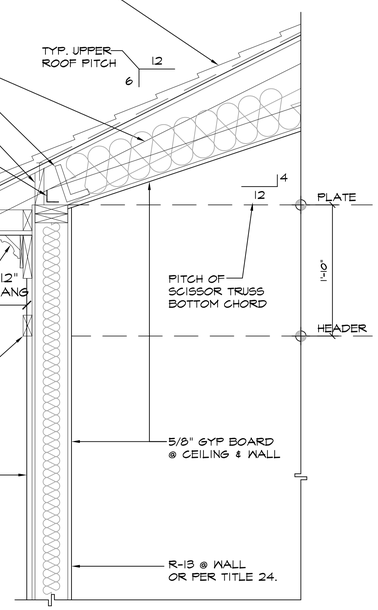
NOTE:
A MIN. OF 1" OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.

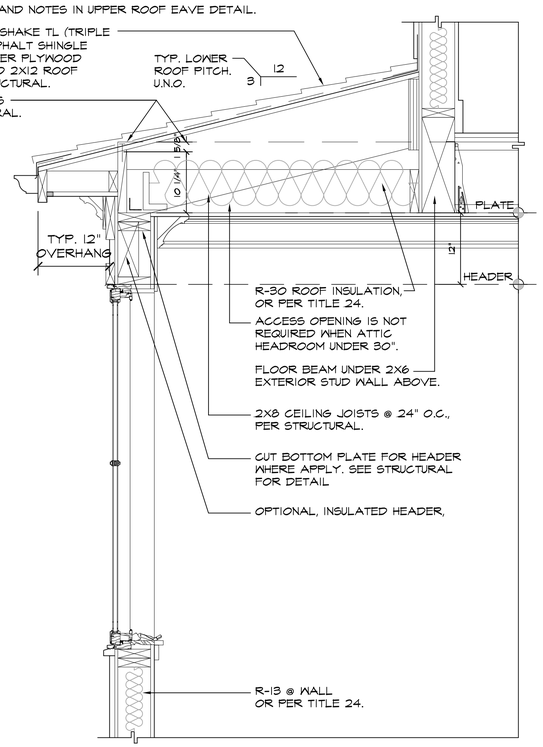
INSULATION:	R VALUE	FIBER GLASS THICKNESS	CERTAINTEED CERTASPRAY CLOSED CELL FOAM THICKNESS
ROOF ATTIC	R-30	9-1/2"	5" (R-32)
CATHEDRAL CEILINGS	R-19	6-1/4"	3" (R-19.2)
EXTERIOR WALL	R-13	3-1/2"	2-1/2" (R-16)
RAISED FLOOR	R-19	6-1/4"	3" (R-19.2)



UPPER ROOF EAVE DETAIL

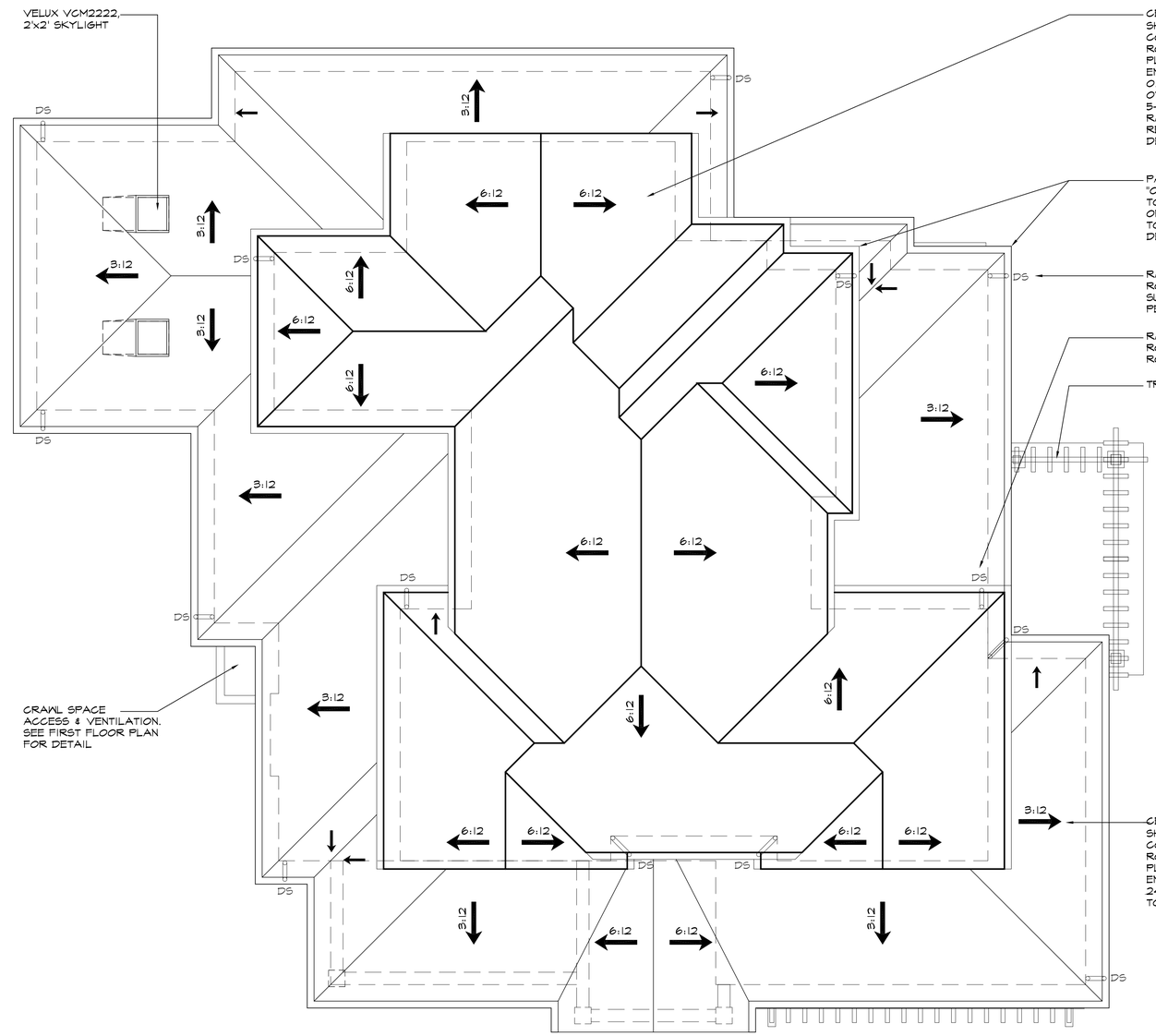
1" = 1'-0" | 3

NOTE:
SEE BALANCE EAVE DETAIL AND NOTES IN UPPER ROOF EAVE DETAIL.



LOWER ROOF EAVE DETAIL

1" = 1'-0" | 2



GENERAL NOTES:

SANITARY SEWER VENTS SHALL TERMINATE AT LEAST 10'-0" AWAY FROM, OR AT LEAST 3' ABOVE ANY ENVIRONMENTAL AIR DUCTS OR OPERABLE SKYLIGHTS.

CERTAINTEED PRESIDENTIAL SHAKE TL (TRIPLE LAMINATE) COMPOSITION ASPHALT SHINGLE ROOFING OVER 30# FELT OVER PLYWOOD SHEATHING OVER ENGINEERED SCISSOR TRUSS @ 24" O.C. PER STRUCTURAL AND BY OTHER. SCISSOR TRUSS WITH 5-3/8" HEEL STAND AS IF 2X8 RAFTER OVER 2X6 STUD WALL. REFER TO UPPER ROOF EAVE DETAIL.

PAINTED GSM GUTTER, "OGEE" STYLE WITH GUTTER GUARD TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. REFER TO UPPER AND LOWER ROOF EAVE DETAILS FOR DETAIL

RAIN WATER LEADER AT LOWER ROOF DISCHARGE TO 4" PVC SUBDRAIN TIGHTLINE, DAYLIGHT PER CIVIL PLANS.

RAIN WATER LEADER AT UPPER ROOF DISCHARGE TO LOWER ROOF, TYP.

TRELLIS. TYP.

CERTAINTEED PRESIDENTIAL SHAKE TL (TRIPLE LAMINATE) COMPOSITION ASPHALT SHINGLE ROOFING OVER 30# FELT OVER PLYWOOD SHEATHING OVER ENGINEERED 2X12 ROOF RAFTER @ 24" O.C. PER STRUCTURAL. REFER TO LOWER ROOF EAVE DETAIL.

0' 2' 4'

N

PROPOSED ROOF PLAN

1/4" = 1'-0" | 1

ISSUE LOG

PLANNING SUBMITTAL
NOV. 14. 2013

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LICENSED ARCHITECT ANDREW FENLE YOUNG C-21679 REN. 4-30-15 STATE OF CALIFORNIA

NEW RESIDENCE FOR:
JOHN AND DENISE JAMES
428 TRAVERSO COURT
LOS ALTOS, CA 94022

A.P.N. 167-14-053

CHECKED	DRAWN
AEY	HW, JHS

DATE
SEPT. 15, 2013

JOB #
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A2.5

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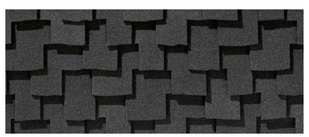
EXISTING FRONT ELEVATION

EXISTING REAR AND SIDE ELEVATION



CERTAINTEED ROOF

HARDISHINGLE

BODY

TRIM, FACIA, COLUMNS AND TRELLIS

SHUTTERS & DOORS

PROPOSED HOUSE RENDERING (FOR REFERENCE ONLY)

EXISTING ELEVATIONS AND MATERIAL BOARD

1

ISSUE LOG

PLANNING SUBMITTAL NOV. 14. 2013

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LICENSED ARCHITECT ANDREW ERNLE YOUNG C-21679 REG. EXP. 4-30-15 STATE OF CALIFORNIA

NEW RESIDENCE FOR:
JOHN AND DENISE JAMES
428 TRAVERSO COURT
LOS ALTOS, CA 94022

A.P.N. 167-14-053

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DATE
SEPT. 15, 2013

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A3.0

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PROPOSED FRONT ELEVATION

1/4" = 1'-0" | 2

NOTE:
SEE TYPICAL FINISH NOTES
IN FRONT ELEVATION 2/A3.1.

PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0" | 1

ISSUE LOG
PLANNING SUBMITTAL
NOV. 14, 2013

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LICENSED ARCHITECT ANDREW ERLE YOUNG C-21679 REN. 1-31-15 STATE OF CALIFORNIA

NEW RESIDENCE FOR:
JOHN AND DENISE JAMES
428 TRAVERSO COURT
LOS ALTOS, CA 94022

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PROPOSED REAR ELEVATION

1/4" = 1'-0" | 2

PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0" | 1

ISSUE LOG

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A3.2

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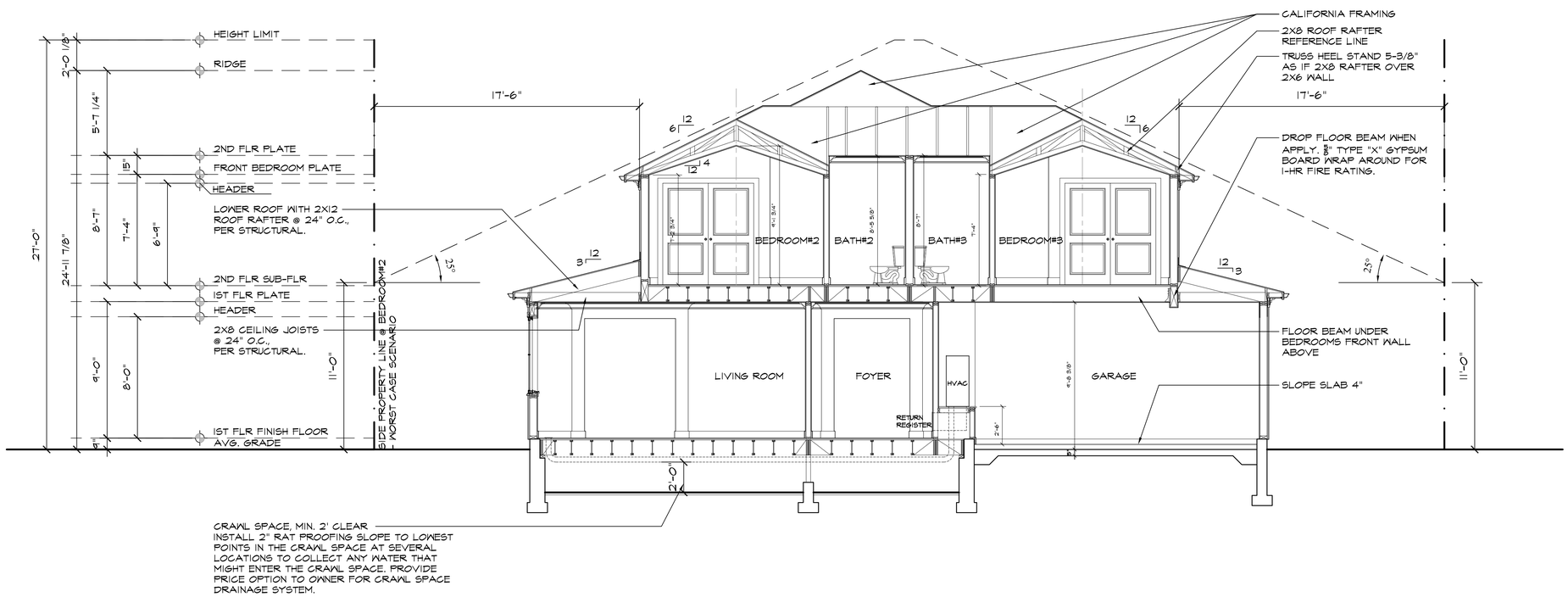
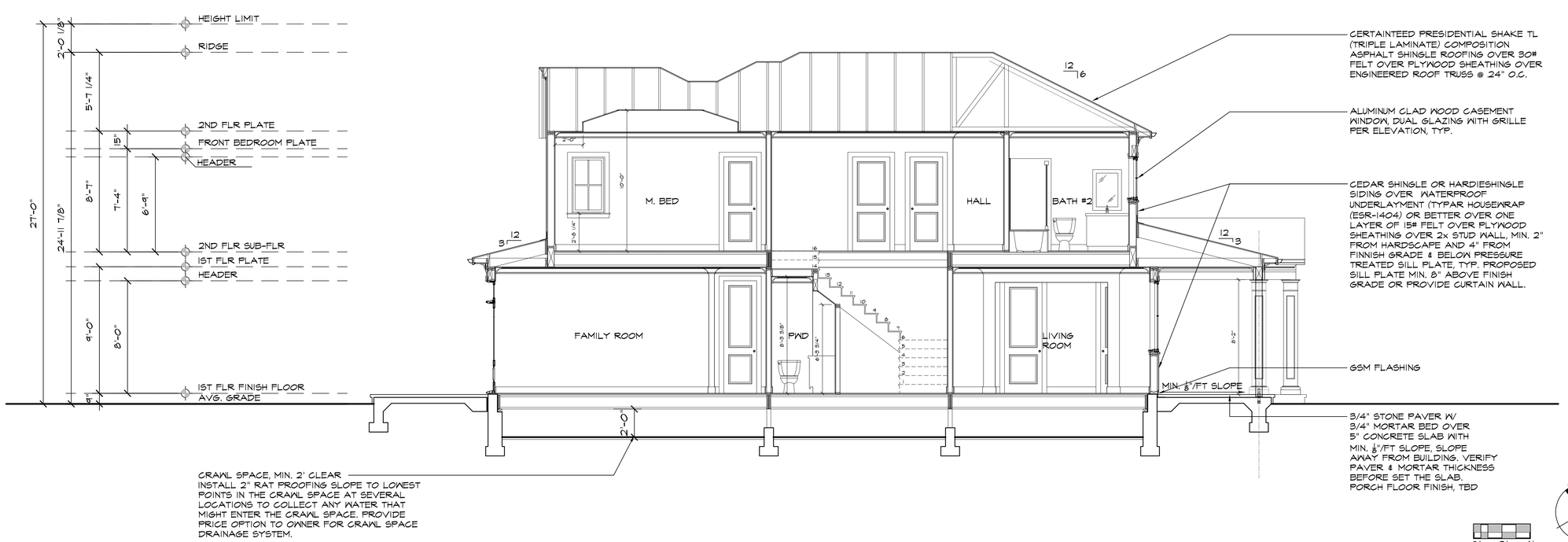


PROPOSED SECTION 2

1/4" = 1'-0" | 2



PROPOSED SECTION 1

1/4" = 1'-0" | 1

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A4.1

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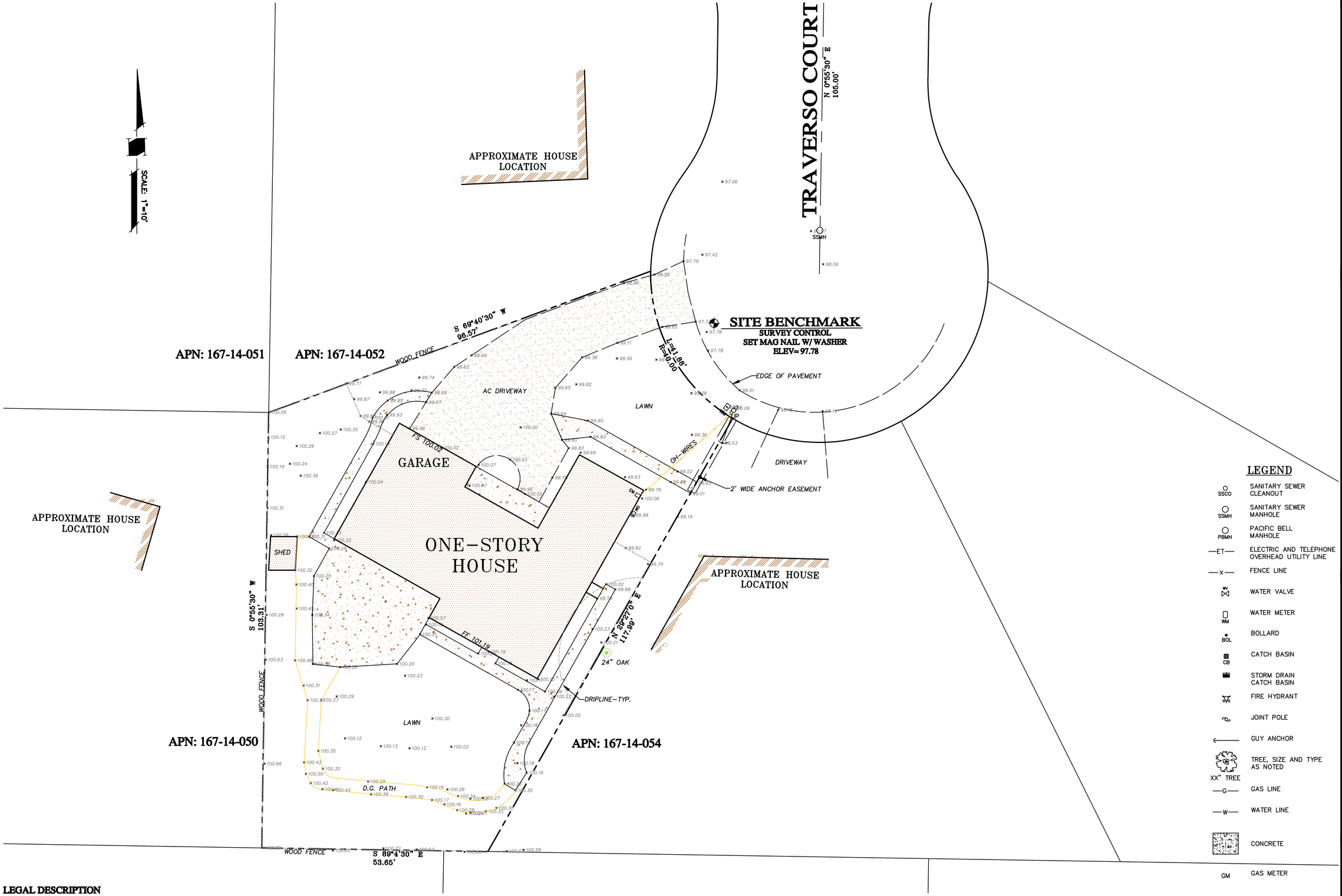


LEGEND

SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
PBMH	PACIFIC BELL MANHOLE
—ET—	ELECTRIC AND TELEPHONE OVERHEAD UTILITY LINE
—X—	FENCE LINE
WV	WATER VALVE
WM	WATER METER
BOL	BOLLARD
CB	CATCH BASIN
	STORM DRAIN CATCH BASIN
	FIRE HYDRANT
	JOINT POLE
	GUY ANCHOR
XX" TREE	TREE, SIZE AND TYPE AS NOTED
—G—	GAS LINE
—W—	WATER LINE
	CONCRETE
GM	GAS METER

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ALTOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
LOT 10, AS DELINEATED UPON THAT CERTAIN MAP ENTITLED, "TRACT NO. 1057 SANTA RITA ORCHARDS", FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON OCTOBER 15, 1952 IN BOOK 40 OF MAPS, AT PAGE 44.
APN: 167-14-053

SITE ACREAGE
10,227± S.F.
0.2347± ACRES

NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES ARE SHOWN FOR ORIENTATION ONLY AND ARE BASED ON RECORDED DATA. THEY MAY BE DISCOVERED TO BE DIFFERENT, SUBJECT TO THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

NNR ENGINEERING
CIVIL ENGINEERS
535 WEYBRIDGE DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 348-7813

PROPOSED DEVELOPMENT
428 TRAVERSO COURT
LOS ALTOS, CA.
APN: 167-14-053

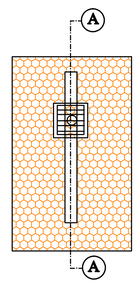
SITE SURVEY

REVISIONS	BY
–	–
–	–
–	–
–	–
–	–

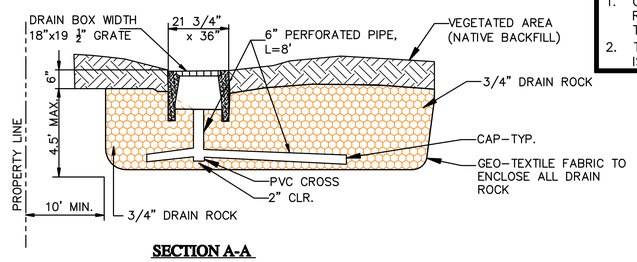
JOB NO:
DATE: 8-20-2013
SCALE: 1" = 10'
DRAWN BY: NR
SHEET NO: 1 OF 1 SHEETS

MAINTENANCE NOTES

1. OWNER IS RESPONSIBLE FOR MAINTAINING ALL INLETS RETENTION SYSTEM, DEBRIS BASIN & DRY WELLS FROM TRASH, DEBRIS & SEDIMENTS.
2. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.



PLAN



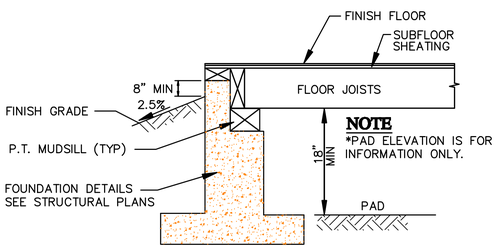
SECTION A-A

GRAVEL BASIN DETAIL

N.T.S.

GRASSY SWALE DETAIL

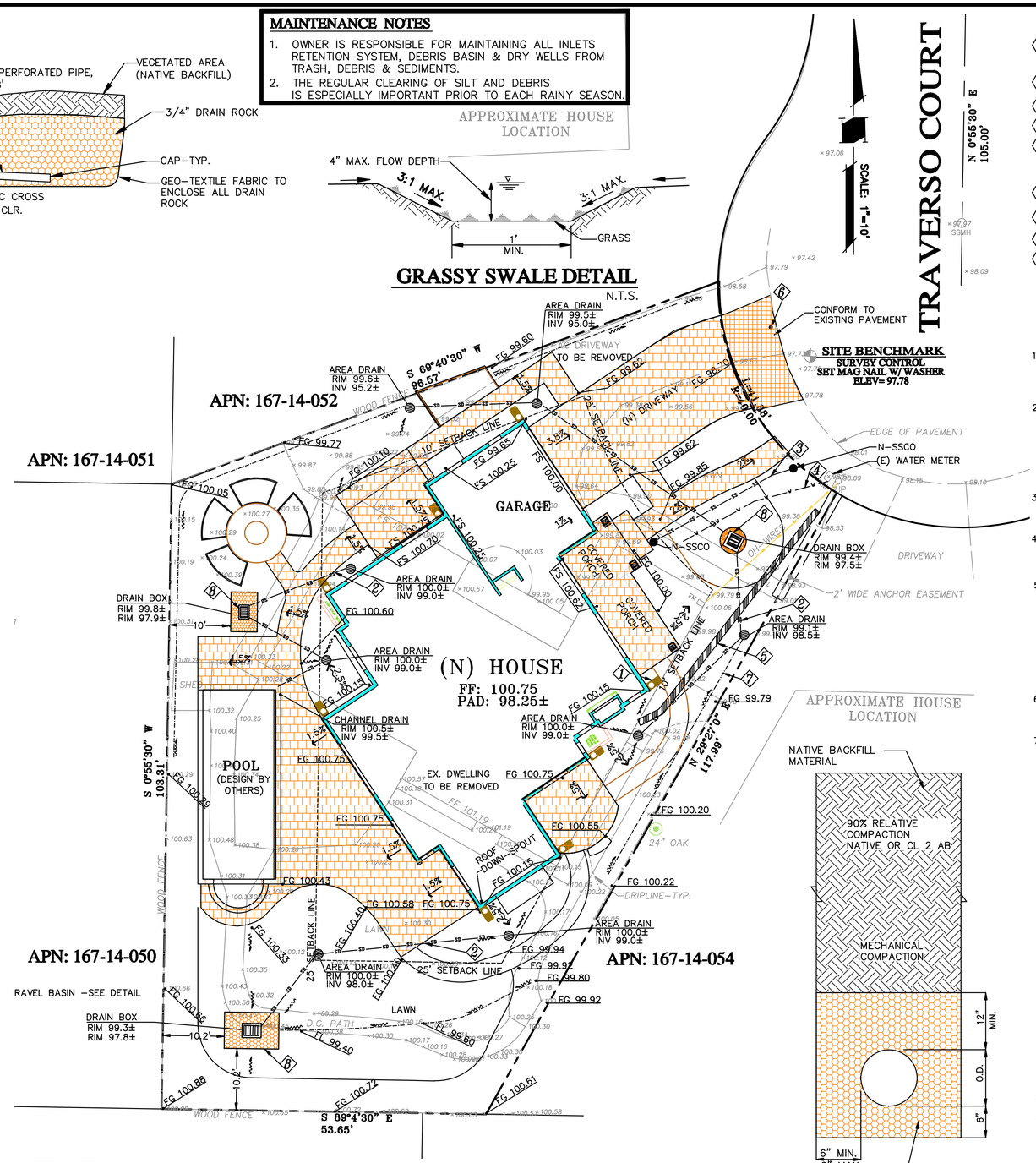
N.T.S.

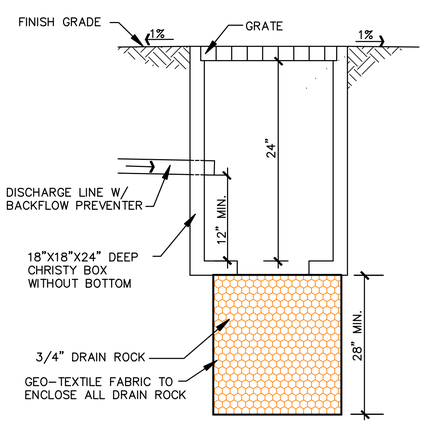


NOTE
*PAD ELEVATION IS FOR INFORMATION ONLY.

EXTERIOR GRADING DETAIL (TYP.)

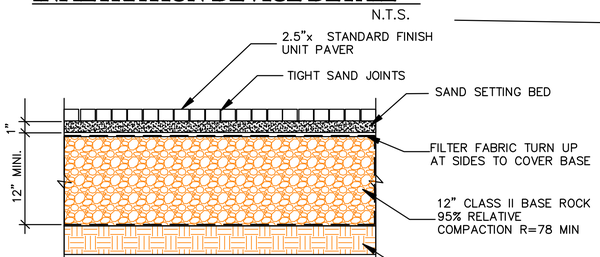
N.T.S.





INFILTRATION DEVICE DETAIL

N.T.S.



PERMEABLE PAVERS TYPICAL DETAIL

N.T.S.

TRENCH BACKFILL

N.T.S.

UTILITY SERVICE

THE APPLICANT SHALL SUBMIT WRITTEN CERTIFICATION FROM THE APPROPRIATE ENERGY AND COMMUNICATION UTILITIES TO THE PUBLIC WORKS DEPARTMENT AND THE PLANNING DIVISION STATING THAT THEY WILL PROVIDE ENERGY AND COMMUNICATION SERVICES TO THE PROPOSED PARCELS OF THIS SUBDIVISION.

ENCROACHMENT PERMIT

NO PROPOSED CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BEGIN UNTIL CITY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS, HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED.

DESCRIPTION / LEGEND

DESCRIPTION	LEGEND
PROPERTY LINE	
CENTERLINE	
SANITARY SEWER	SS
STORM DRAIN LINE	SD
DRAINAGE FLOW	
REMOVE TREE	

GRADING AND DRAINAGE CONSTRUCTION NOTES:

1. DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.). DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW, & TOWARDS PERVIOUS AREA OF THE SITE -TYP. (SEE DETAIL)
2. 6" SCH. 40 PVC @ S=1% MIN.
3. 4" SDR-26 SS. LAT. @ 2% MIN.
4. (N) WATER SERVICE LINE, (DESIGN BY OTHERS).
5. APPROXIMATE LOCATION OF JOINT TRENCH TRENCH INCLUDES: ALL GAS/ELECTRIC LINES, COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.
6. SEPARATE PERMIT(S) ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY FROM THE ENGINEERING DIVISION.
7. GRASSY SWALE @ S=0.5%.
8. GRAVEL BASIN (5'X10'X4.5' DEEP) -SEE DETAIL.
9. (N) INFILTRATION DEVICE (CHRISTY V-24) W/ BOTTOM.

GENERAL NOTES

1. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
2. EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
3. ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
4. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT "USA" CENTER AT 800/642-2444, A TOLL-FREE NUMBER, 48 HOURS IN ADVANCE OF ANY EXCAVATION ACTIVITY SO ALL UNDERGROUND FACILITIES CAN BE LOCATED AND MARKED.
5. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY OR THE ENGINEER.
6. IT SHALL BE THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO COORDINATE THEIR WORK SO AS TO ELIMINATE CONFLICTS AND TO INSURE COMPLETION OF THE ENTIRE PROJECT WITHIN THE SPECIFIED PERIOD.
7. THE CONTRACTOR SHALL MAINTAIN THE STREET, SIDEWALKS AND ALL OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

UNDERGROUND NOTES

1. CONTRACTORS SHALL EXPOSE AND VERIFY PIPE MATERIAL, LINE SIZE, LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING SANITARY SEWERS, STORM DRAINS, AND WATER LINES AT ALL TIE-INS AND CROSSINGS PRIOR TO CONSTRUCTING NEW FACILITIES.
2. UNLESS OTHERWISE NOTED, ALL STORM DRAINS, SANITARY SEWERS, MANHOLES AND INLETS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE COUNTY OF SAN MATEO STANDARD SPECIFICATIONS AND STANDARD PLAN DETAILS AS DESIGNATED AND TO DETAILS AS SHOWN ON THE PLAN.
3. ALL TRENCH EXCAVATION, BACKFILL AND BEDDING FOR STORM DRAINS AND SANITARY SEWERS SHALL CONFORM TO THE COUNTY OF SAN MATEO STANDARD SPECIFICATIONS, AND DETAILS.
4. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
5. ALL GAS, ELECTRICAL, TELEPHONE AND CABLE T.V. UTILITIES, WILL BE DESIGNED AND CONSTRUCTED BY OTHERS UNDER SEPARATE CONTRACTS AND PLANS.
6. THE USE OF MATERIALS CONTAINING ASBESTOS SHALL NOT BE PERMITTED.
7. IN LOCATIONS WHERE UTILITY LINES OR OTHER SEWER CROSS WITH LESS THAN 12" CLEARANCE, SAND BEDDING SHALL BE EXTENDED VERTICALLY FROM THE BOTTOM OF TRENCH TO MIN. 6" ABOVE THE UPPERMOST PIPE AND EXTENDED LATERALLY 5' IN EACH DIRECTION FROM THE POINT OF CROSSING AND COMPACTED TO 90% RELATIVE COMPACTION.
8. UNLESS OTHERWISE NOTED, SANITARY, STORM AND WATER LATERALS SHALL BE CONSTRUCTED TO 5 FEET FROM FACE OF BUILDING.
9. THE TOP OF THE CONE PORTION OF THE MANHOLE SHALL BE SET SIX INCHES BELOW SUBGRADE.

EARTHWORK QUANTITY

NOTE:
THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE CITY OF LOS ALTOS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR . CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

APPROXIMATE CUT REQUIRED	15± CY
FILL REQUIRED	0± CY

REGISTERED PROFESSIONAL ENGINEER NADIM N. RAFFOUL No. 56027 Exp. 12/31/14 CIVIL STATE OF CALIFORNIA

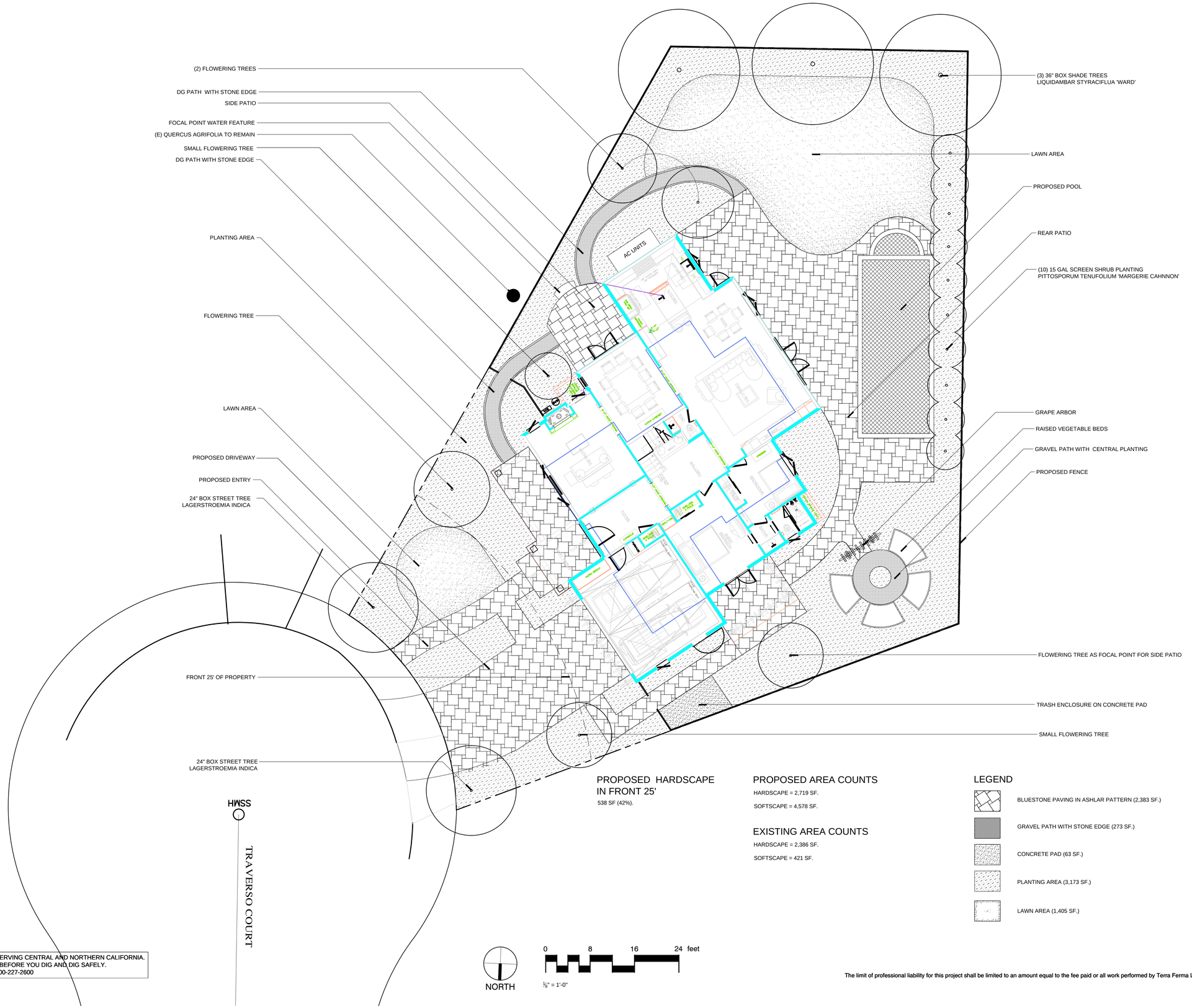
NNR ENGINEERING
CIVIL ENGINEERS
535 WEYBRIDGE DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 348-7813

PROPOSED DEVELOPMENT
428 TRAVERSO COURT
LOS ALTOS, CA.
APN: 167-14-053

GRADING AND DRAINAGE PLAN

REVISIONS	BY
-	-
-	-
-	-
-	-
-	-

JOB NO:
DATE: 11-11-2013
SCALE: 1" = 10'
DRAWN BY: NR
SHEET NO: C-1
OF 1 SHEETS



PROPOSED HARDSCAPE IN FRONT 25'

538 SF (42%).

PROPOSED AREA COUNTS

HARDSCAPE = 2,719 SF.

SOFTSCAPE = 4,578 SF.

EXISTING AREA COUNTS

HARDSCAPE = 2,386 SF.

SOFTSCAPE = 421 SF.

LEGEND

- BLUESTONE PAVING IN ASHLAR PATTERN (2,383 SF.)
- GRAVEL PATH WITH STONE EDGE (273 SF.)
- CONCRETE PAD (63 SF.)
- PLANTING AREA (3,173 SF.)
- LAWN AREA (1,405 SF.)

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The limit of professional liability for this project shall be limited to an amount equal to the fee paid or all work performed by Terra Ferma Landscapes, Inc.

TERRA FERMA LANDSCAPES

Landscape Architecture
Landscape Construction
Fine Gardening

139 Mitchell Avenue, Suite 220
So. San Francisco, CA 94080
p: 650.952.5659
f: 650.952.0667
e: info@tflandscapes.com

JAMES RESIDENCE

428 TRAVERSO COURT.
LOS ALTOS, CA 94022

APN:

LICENSED LANDSCAPE ARCHITECT
W. BRIANKOCH No. LA 5518
Signature
6/30/14
Renewal Date
04/-/13
Date
STATE OF CALIFORNIA

DATE	REVISION
11.13.2013	PLANNING SUBMISSION

DATE:	11.13.2013
DRAWN BY:	BA
CHECKED BY:	JH, JS
SCALE:	⅛"=1'-0"
PROJECT #:	1317

TITLE

LANDSCAPE PLAN

SHEET NO.

L1.0

Xref S:\4-DESIGN STUDIO\PROJECTS\1317_428 TRAVERSO COURT\DRAWINGS\xref_bg_site.dwg

CERTAINTEED ROOF

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BODY

TRIM, FACIA, COLUMNS AND TRELLIS

SHUTTERS & DOORS

PROPOSED HOUSE RENDERING (FOR REFERENCE ONLY)