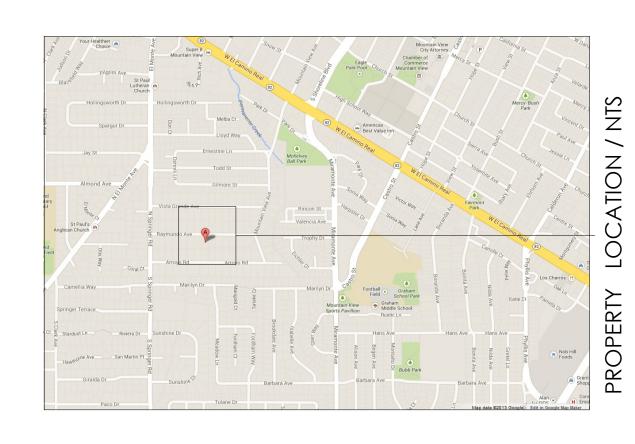
# VICINITY MAP:



# SCOPE OF WORK:

NEW 2 STORY COSTUME HOME 4496 SQ BUILDING AREA INCLUDING 6 BEDS, 5.5 BATHS, 1 LAUNDRY AND A 2 CAR GARAGE

## GENERAL NOTES:

1. The project shall incorporate green building aspects to the maximum extent possible.

## PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: PROJECT TYPE: PROJECT LOCATION:

ZONING: OCCUPANCY GROUP: CONSTRUCTION TYPE: NUMBER OF FLOORS: FIRE PROTECTION:

189 - 29 - 042 NEW COSTUME HOUSE 766 RAYMUNDO AVE., Los Altos. CA 94024 R - 1 - 10 R - 3 / U

TWO (2) STORY

SPRINKLERED

# CODE EDITIONS:

A. CALIFORNIA	RESIDENTIAL	2010 EDITION
B. CALIFORNIA	BUILDING	2010 EDITION
C. CALIFORNIA	MECHANICAL	2010 EDITION
D. CALIFORNIA	PLUMBING	2010 EDITION
E. CALIFORNIA	ELECTRICAL	2010 EDITION
F. CALIFORNIA	ENERGY:	2008 EDITION
G. CALIFORNIA	FIRE:	2010 EDITION
H. ANY OTHER	APPLICABLE LO	CAL AND STAT
LAWS AND F	REGULATIONS.	

# AREA CALCULATION:

TOTAL "E" BLDG TO BE REMOVED: "N" 1st FLOOR LIVING AREA: "N" 2nd FLOOR LIVING AREA: "N" TOTAL LIVING: "N" FRONT PORCH: "N" GARAGE: "N" TOTAL BUILDING: LOT AREA:	3056 2312 1661 3973 16 507 4496 17500	SQF SQF SQF SQF SQF SQF SQF
--	--	---

EAVE AREA= 240 X 1.5 = 360

FLOOR AREA RATIO (FAR) = 3850+(10%(17500-11000)=4500

2819 SQF 16 SQF 2835/17500 = 16.2 % 1st FLOOR BLDG AREA 2819 COVERED AREA TOTAL %

% OF FRONT YARD PAVING: 560 / 2500 = 22.4 % FRONT YARD: 25 X 100 = 2500 sqf.
PROPOSED PAVING: (60 Walk Way) + (500 Drive Way)=560

# PROJECT CONTACT:

OWNER:	NICK STAVRAKOS & MONICA TELLADO (650) 219-3882 2048 LOUISE LN., LOS ALTOS, CA 94024
DESIGNER:	BOD esign (408) 771-5935 21060 HOMESTEAD RD., CUPERTINO, CA 95014 SUITE 130 CONTACT@BOD-E.COM
STRUCTURAL:	  
MECHANICAL:	  
T24 & ENERGY:	  
SOIL ENGINEER:	  

# LEGEND:



GRAPHIC SCALE: 1 INCH = 4 FEET

2nd FLOOR

PROPERTY LINE

BLDG 1st FLOOR FOOTPRINT LINE

## BLDG 2nd FLOOR FOOTPRINT LINE

# PROJECT SUMMARY:

NET LOT AREA:	17500 SQF		
	Existing	Change in	Total Proposed
% OF FRONT YARD PAVING	492 SQF	68 SQF	560(22.4%)
HABITABLE LIVING AREA (INCLUDING HABITABLE BASEMENT AREA):	2581 SQF	1392 SQF	3973 SQF
NON-HABITABLE AREA:	475 SQF	32 SQF	507 SQF

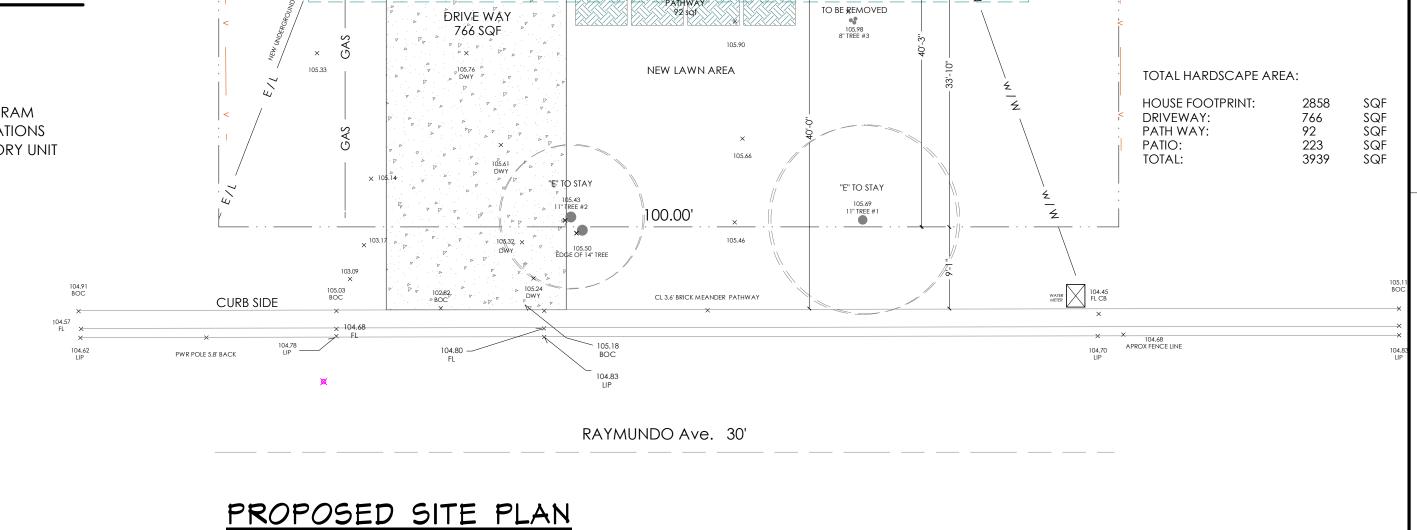
	Existing	Proposed	Allowed Required
LOT COVEREGE: (Land area covered by all structures that are over 6' height)	3056 17.4%	2835 SQF 16.2%	5250 SQF 30%
FLOOR AREA:	3056	4496	4500
SETBACKS:	1ST.	1ST./2ND.	1ST./2ND.
Front	38-4"	33'-10"/40'-3"	25'/25'
Rear	27'-4"	89'-1"/96'-9"	25'/25'
Right side	16'-4''	18'-10"/19'-11"	10'/17.5'
Left side	14'-3"	15'-5"/23'-5"	10'/17.5'
HEIGHT	18'-10''	26'-10"	27'

# TREE TABLE:

Number	Species	Size	To Be Removed	
1	Prunus cerasifera	DBH 11" Height 30' Crown Sp. 21' LCR 90%	NO	
2	Prunus cerasifera	DBH 11" Height 20' Crown Sp. 16' LCR 80%	NO	
3	Lagerstroemia indica	DBH 8" Height 25' Crown Sp. 18' LCR 90%	yes	
4	Arbutus unedo	DBH 10" Height 12' Crown Sp. 14' LCR 80%	yes	
5	Quercus agrifolia	DBH 7" Height 26' Crown Sp. 16' LCR 90%	yes	
6	Citrus x sinensis	DBH 7" Height 18' Crown Sp. 20' LCR 80%	NO	
7	Prunus americana	DBH 5" Height 20' Crown Sp. 19' LCR 70%	NO	
8	Prunus americana	DBH 7" Height 16' Crown Sp. 20' LCR 70%	yes	
9	Prunus serotina	DBH 15" Height 22' Crown Sp. 18' LCR 80%	NO	
10	Platanus racemosa	DBH 28" Height 63' Crown Sp. 60' LCR 70%	NO	
11	Sequoia sempervirens	DBH 15" Height 80' Crown Sp. 25' LCR 80%	NO	
12	Laurus nobilis	DBH 12" Height 30' Crown Sp. 20' LCR 70%	NO	
13	Schinus molle	DBH 49" Height 57' Crown Sp. 65' LCR 10%	NO	

# DRAWING INDEX:

			own <sub>o</sub>	-
A0:	COVER SHEET & SITE PLAN		New Weeks	- St
TO:	BOUNDARY AND TOPO. MAP		NEW.	× GAS
C1:	GRADING AND DRAINAGE		/ 10	05.33
C2:	GRADING AND DRAINAGE		F/ F	
A0.1:	ROOF PLAN & FLOOR AREA DIAG	FRAM	< /	
A1:	EXISTING FLOOR PLAN AND ELEVA	ATIONS		GAS
A1.1:	EXISTING GARAGE AND ACCESSO	DRY UNIT	/	O)
A2:	PROPOSED 1st FLOOR PLAN		/	
A2.1:	PROPOSED 2nd FLOOR PLAN		7	
A3:	PROPOSED ELEVATIONS			
A3.1:	PROPOSED ELEVATIONS			
A4:	PROPOSED SECTIONS			103.09
		104.91		105.03
		BOC	CURB SIDE	BOC
		104.57		× 104.6
		FL X	× 104.78	FL
		104.62 LIP	PWR POLE 5.8' BACK	_
				×
				~



<u>5C : 3/32" = 1'-0"</u>

0.9' FENCE NLY

TO BE REMOVED (×) 7" TREE #5

BOO esign

REVISIONS

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SHEET TITLE:

COVER SHEET SITE / ROOF PLAN

NEW CONSRTUCTION FOR:

#### Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

09.09.13 3/32" = 1' SCALE: **DRAWN BY:** D - 1306 - 06

JOB NO:

1. CONCRETE SHALL BE CLASS A(6 SACK) CONTAINING NOT LESS THAN 256KG(564 IBS) OF PORTLAND CEMENT PER 0.8CU.M (1CU.YD.) (1" MAXIMUM AGGREGATE SIZE AND A 28 DAY COMPRESSIVE STRENGTH OF 246KG/SQ.CM(3500PSI)). AGGREGATE BASE (AB) SHALL BE CLASS 2, CALTRANS STANDARD. 2. CONCRETE FOR CURB, GUTTER, SIDEWALK, DRIVEWAY, AND OTHER SURFACE-LEVEL SLOBS SHALL

CONTAIN 0.45KG(TLBS.) OF LAMPBLACK PER O.BCU.M(1 CU.YD.) (AT BOTCH PLANT). 3. AB SHALL BE COMPACTED TO NOT LESS THAN 95% RELATIVE COMPACTION, AS TESTED BY CITY APPROVED LAB AT CONTRACTOR'S EXPENSE.

4. WEAKEND-PLANE JOINTS(50MM(2")) DEEP FOR SIDEWALKS, 75MM(3") DEEP FOR 150MM(6") THICK DRIVEWAUYS, SHALL BE SPACED AT 3.05M(10') NOMINAL INTERVALS, AND AT EACH SIDE OF DRIVEWAYS. MIDPOINTS OF DRIVE WAY WITH CURB CUTS EXCEEDING 6.10M(20') AND AS DIRECTED BY THE DIRECTOR OF PUBLIC WORKS OR DESIGNEE.

5. EXPOSED SURFACES OF SIDEWALK, DRIVEWAY, CURB AND GUTTER SHALL BE STEEL TROWELED FOLLOWED BY A MEDIUM BROOM FINISH, EXISTING DECORATIVE FINISHES SHALL BE MATCHED IN KIND. 6. EXCEPT AS SHOWN, ALL EXPOSED EDGES, INCLUDING AT WEAKENED-PLANE JOINSTS, SHALL BE TOOLED TO 13MM(1/2") RADIUS. 7. SIDEWALK SHALL BE SCORE MARKED AT 760MM(2'-6") NOMINAL INTERVALS EACH WAY OR TO MATCH

EXISTING SCORE MARKS. MONOLITHIC CURB, SIDEWALK AND DRIVEWAY SHALL HAVE A CONTINUOUS SCORE MARK 150MM(6") FROM CURB FACE. 8. ALL CONCRETE SHALL BE CURED BY KEEPING CONTINUOUSLY MOIST FOR THREE DAYS AFTER POURING EITHER BY SPRINKLING, COVERING WITH A WATERPROOF MEMBRANE, OR APPLYING TYPE I CONCRETE

9. EXTRUDED CURB AND GUTTER SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS OR DESIGNEE PRIOR TO CONSTRUCTION.

10. CURB LIP AT DRIVEWAYS SHALL BE INCREASED TO 13MM(1/2") HIGHER THAN AC OVERLAY. 11. ALL GUTTER LIPS SHALL BE FORMED AND TOOLED. A 305MM(12") WIDE FULL DEPTH AC STREET STRUCTURAL SECTION SHALL BE PLACED ADJACENT TO THE GUTTER LIP. THE AC SECTION SHALL BE A MINIMUM OF 6" DEEP OR 25MM(1") THICKER THAN EXISTING AC, WHICHEVER IS GREATER.

12. ALL NEW PCC IMPROVEMENTS SHALL BE DOWELED TO EXISTING AND ADJACENT PCC IMPROVEMENTS USING 305MM(12") LONG #3 OR #4 SMOOTH DOWELS AT 914MM(3') O.C. DOWELS TO BE GREASED ("FOOD GRADE") OR PAPER SLEEVED ONE END AND CAPPED. TYPICAL AT ALL EXPANSION JOINTS. 13. STREET TREE WELLS AND GRATES SHALL BE PROVIDED IN ACCORDANCE WITH CITY REQUIRMENTS.

14. ALL PCC IMPROVEMENTS TO BE REMOVED SHALL BE SAW CUT ALONG EXISTING SCORELINES. NO SECTION TO BE REPLACED SHALL BE SMALLER THAN 760MM(30") IN EITHER LENGTH OR WIDTH. IF THE SAW CUT IN SIDEWALK OR DRIVEWAY FALLS WITHIN 760MM(30") OF A CONSTRUCTION JOINT, EXPANSION JOINT, COLD JOINTS, OR EDGE, THE CONCRETE SHALL BE REMOVED TO THE JOINT OR EDGE, ALL SAW CUT RESIDE SHALL B EDRY VACUMED CONCURRENTLY WITH SAWING OPERATION. 15. NEW OR APPROVED RECYCLED IMPORTED FULL DEPTH AB SHALL BE PLACED UNDER ALL NEW OR

REPLACEMENT CURB, GUTTER, SIDEWALK AND DRIVEWAY.

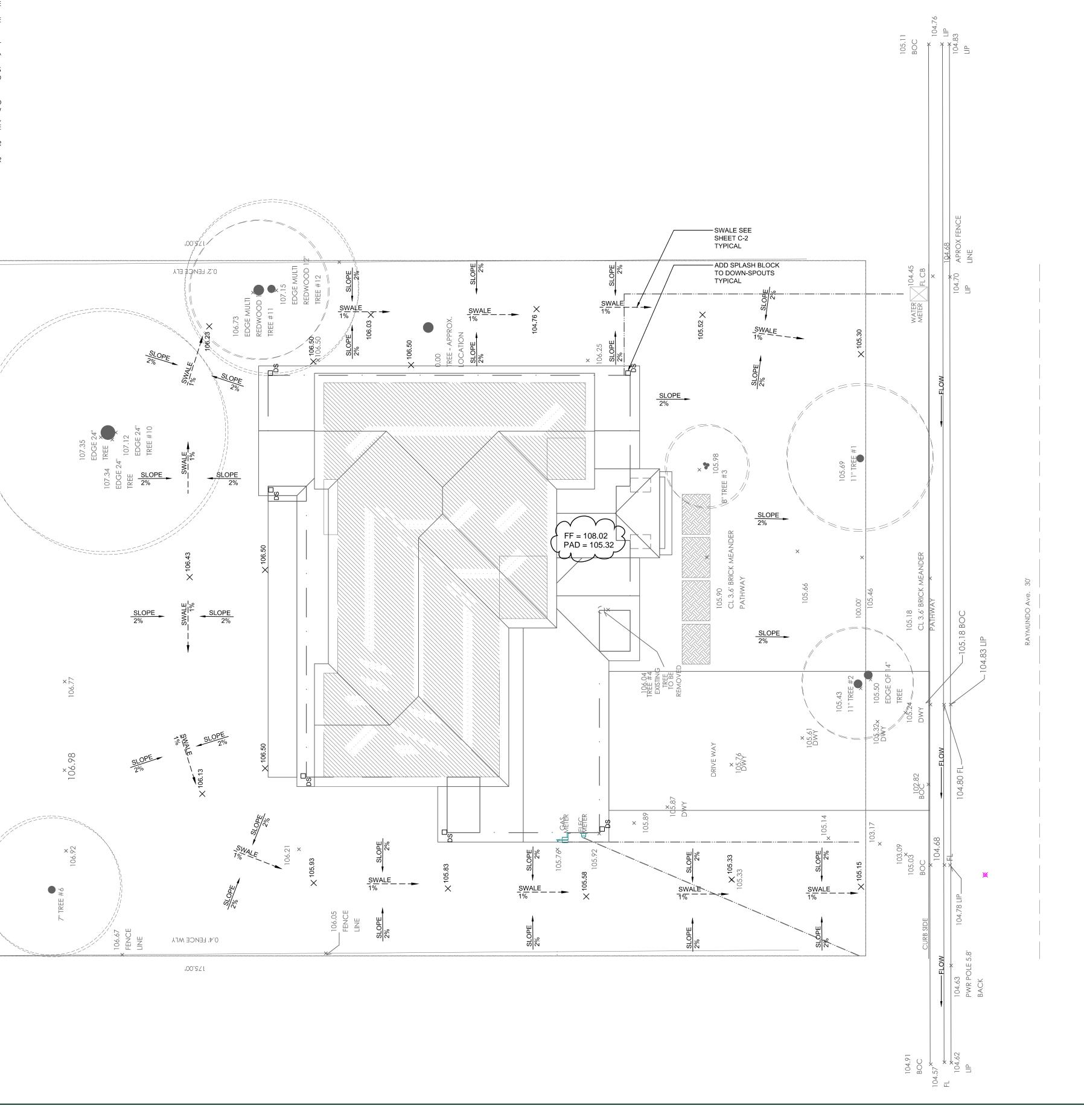
16. ALL FORM WORK AND REINFORCING MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS OR DESIGNEE PRIOR TO CONCRETE PLACEMENT.

GRADING, DRAINAGE PLAN

SCALE 1:100



# 766 Raymundo Avenue, Los Altos, CA 94024



REVISION

BY



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SHEET TITLE:



DRAINAGE DESIGN FOR:

#### **NICK & MONICA**

766 Raymundo Avenue

Los Altos, CA 94024

DATE:

11.19.2013

SCALE:

**DRAWN BY** 

B.O.D

JOB NO:

SHEET:



**BOd** esign\_

BY

REVISION

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SHEET TITLE:



DRAINAGE DESIGN FOR:

**NICK & MONICA** 

766 Raymundo Avenue

Los Altos, CA 94024

DATE:

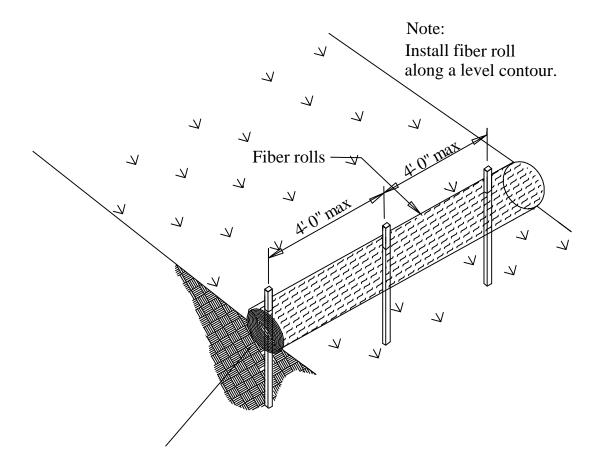
SCALE:

**DRAWN BY:** B.O.D

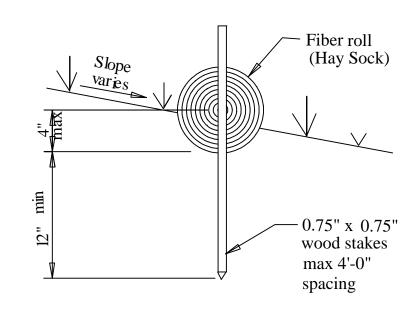
JOB NO: SHEET:

11.19.2013

-HOME DOWNSPOUT SPLASH BLOCK - @ DOWN SPOUT 2-FT LONG -FINISH GROUND SPLASH BLOCK AT EVERY DOWNSPOUT



TYPICAL FIBER ROLL INSTALLATION



ENTRENCHMENT DETAIL N.T.S.

# EROSION CONTROL/SEDIMENT CONTROL ver Rolls)

Fiber rolls diment logs or wattlescomposed of bio-degradable fibers stuffed in a photo-degradable open weave netting, are designed to reduce sediment runoff from disturbed soils into the storm drain system or watercourses. Fiber rolls are porous and allow water to filter through fibers and trap sediment, increase filtration rates, slow runoff and reduce sheet and rill erosion. Wattles also create a favorable environment for plant establishment.

Along the face of exposed and erodible slopes to shorten slope length
At grade breaks where slopes transition to a steeper slope
In drainage swales to slow flows
Along streambanks to assist stabilization and revegetation

#### Inspection and Maintenance:

Follow manufacturer's recommendations for installation. In general, these will be as follows:

Fine grade the subgrade by hand dressing where necessary to remove local deviations and to remove larger stones or debris that will inhibit intimate contact of the fiber roll with the subgrade.

Prior to roll installation, contour a concave key trench 2 to 4 inches deep along the proposed

Soil excavated in trenching should be placed on the uphill or flow side of the roll to prevent water from undercutting the roll.

Place fiber rolls into the key trench and stake on both sides of the roll within 6 feet of each end and then 3–5 feet with 1 " x 2" stakes or as suggested by manufacturer.

Stakes are typically driven in on alternating sides of the roll. When more than one fiber roll is placed in a row, the rolls should be abutted securely to one another to provide a tight joint, not overlapped.

#### Limitations:

A Designed for low surface flows not to exceed 1 cfs for small areas.

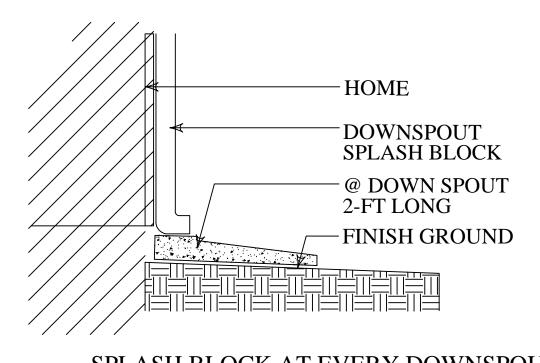
A Designed for short slopes or slopes flatter than 3:1.

A Primary purpose is not sediment control, although do provide some sediment removal.

Repair or replace split, torn, unraveling or slumping fiber rolls.

Inspect fiber rolls when rain is forecast, following rain events and at least daily during prolonged rainfall. Perform required maintenance.

In most cases, fiber rolls do not require removal and can be abandoned in place. If not excessively soiled, rolls may be removed, replaced and reused.



TYPICAL SWALE AT LAWN YARD

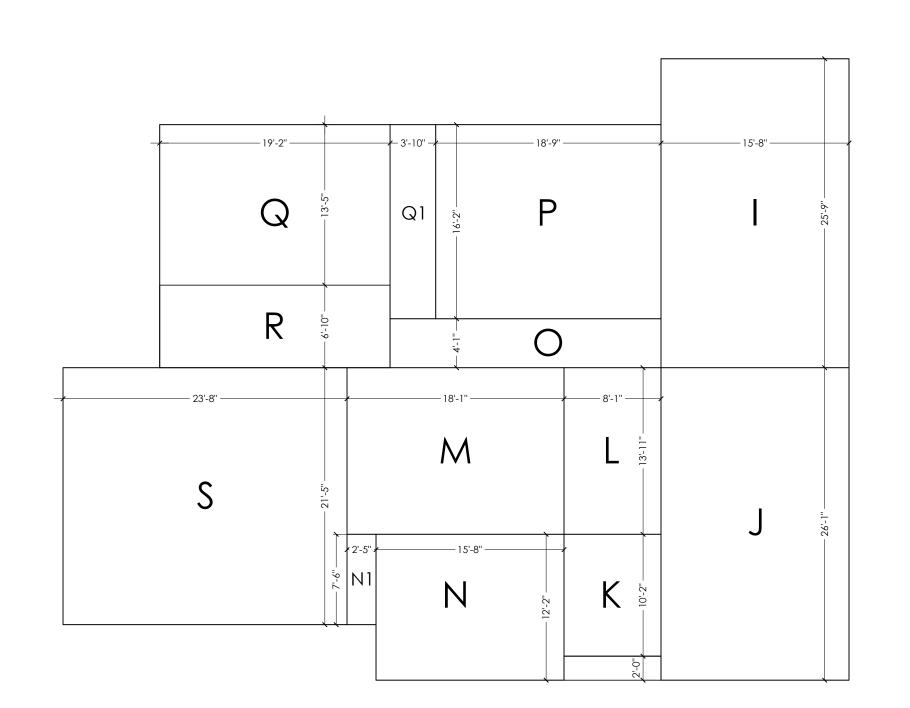
N.T.S.

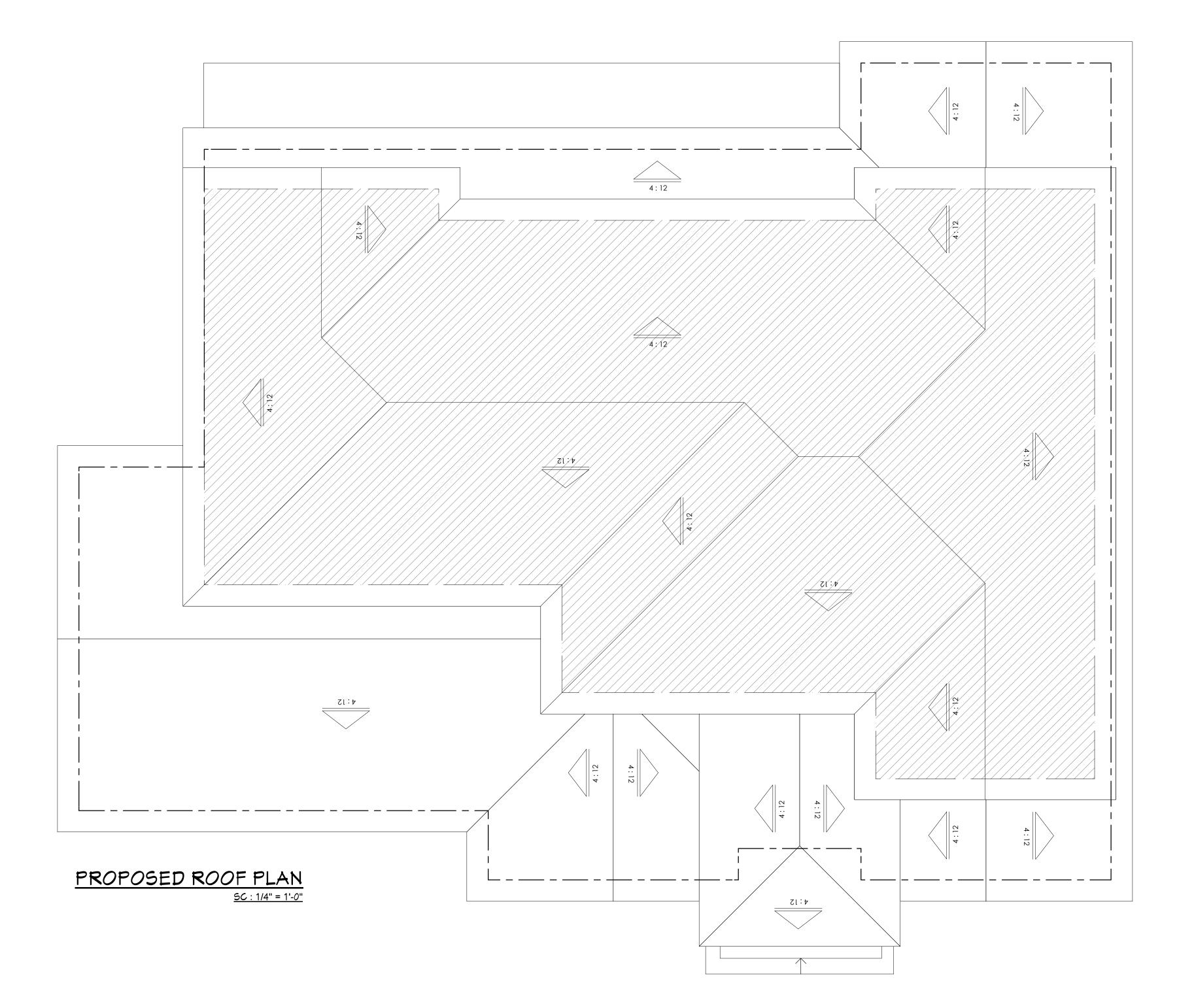
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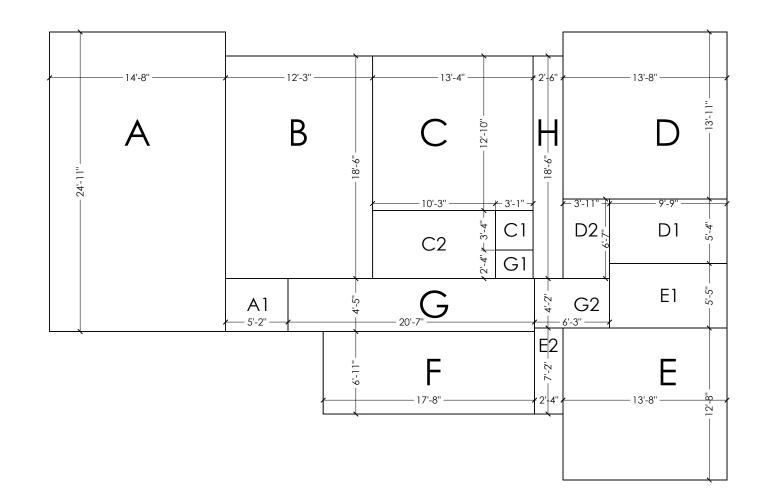
# FLOOR AREA DIAGRAM:

SCALE: 1/8": 1'

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
	Α	14'-8" X 25'-0"	367	
	A1	5'-3" X 4'-5"	23	
	В	12'-3" X 18'-7"	228	
	С	13'-5" X 12'-11"	173	
	C1	3'-2" X 3'-3"	10	
	C2	10'-3" X 5'-8"	58	
	D	13'-8" X 13'-11"	190	
On al	D1	9'-10" X 5'-5"	53	
2nd	D2	3'-10" X 6'-8"	26	1661
FLOOR	Е	13'-8" X 12'-8"	173	
	El	9'-10" X 5'-4"	52	
	E2	2'-5" X 7'-2"	17	
	F	17'-7" X 6'-10"	120	
	G	20'-6" X 4'-5"	91	
	G1	3'-2" X 2'-5"	8	
	G2	6'-3" X 4'-1"	26	
	Н	2'-6" X 18'-7"	46	
	I	15'-8" X 25'-9"	403	
	J	15'-8" X 26'-1"	409	
	K	8'-1" X 10'-2"	82	
	L	8'-1" X 13'-10"	112	
	М	18'-1" X 13'-10"	250	
1st	N	15'-8" X 12'-2"	191	22.2
FLOOR	N1	2'-5" X 7'-6"	18	2312
	0	22'-7" X 4'-1"	92	
	Р	18'-10" X 16'-2"	304	
	Q	19'-3" X 13'-4"	257	
	Q1	3'-9" X 16'-2"	61	
	R	19'-3" X 6'-11"	133	
GARAGE	S	23'-8" X 21'-5"	507	507
FRONT PORCH	T	8'-1" X 2'-0"	16	16
	4496			





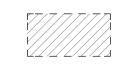


# LEGEND:



GRAPHIC SCALE: 1 INCH = 4 FEET

0 1 2 3 4 5 10 15



2nd FLOOR

\_\_\_\_\_\_

BLDG 1st FLOOR FOOTPRINT LINE
BLDG 2nd FLOOR FOOTPRINT LINE

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SHEET TITLE:

PROPOSED ROOF PLAN AND FLOOR AREA DIAGRAM

NEW CONSRTUCTION FOR:

## Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

DATE: 09.09.13

SCALE: 1/4" = 1"

DRAWN BY: PF

**JOB NO :** D - 1306 - 06

SHEET:

A0.1





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SHEET TITLE:

EXISTING FLOOR PLAN & ELEVATIONS

NEW CONSRTUCTION FOR:

## Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

DATE: 09.09.13

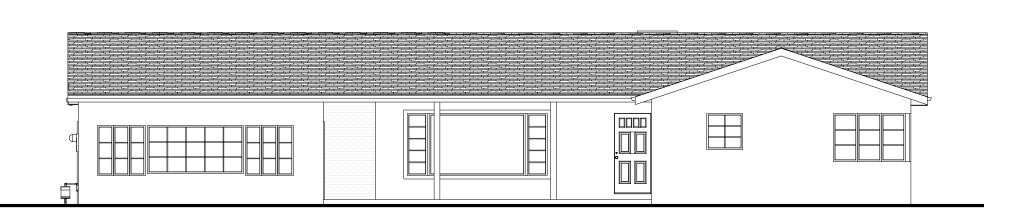
SCALE: 1/4" = 1"

**DRAWN BY:** PF **JOB NO:** D - 1306 - 06

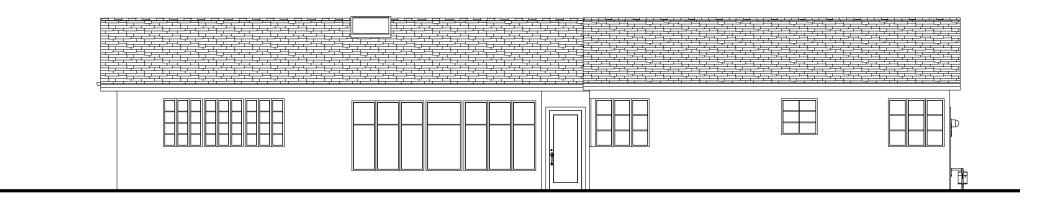
ET :

•

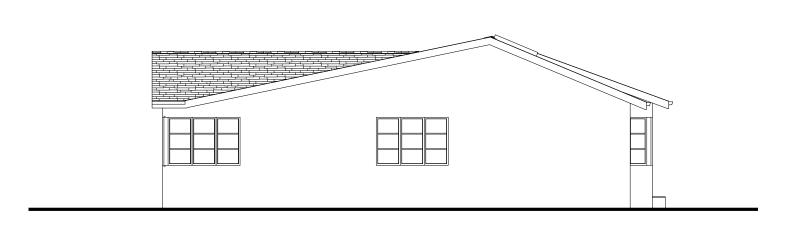
A-1



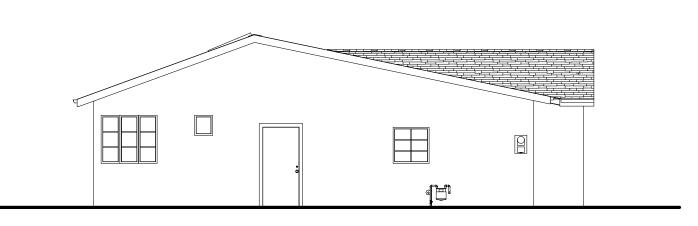
#### EXISTING FRONT ELEVATION



#### EXISTING REAR ELEVATION

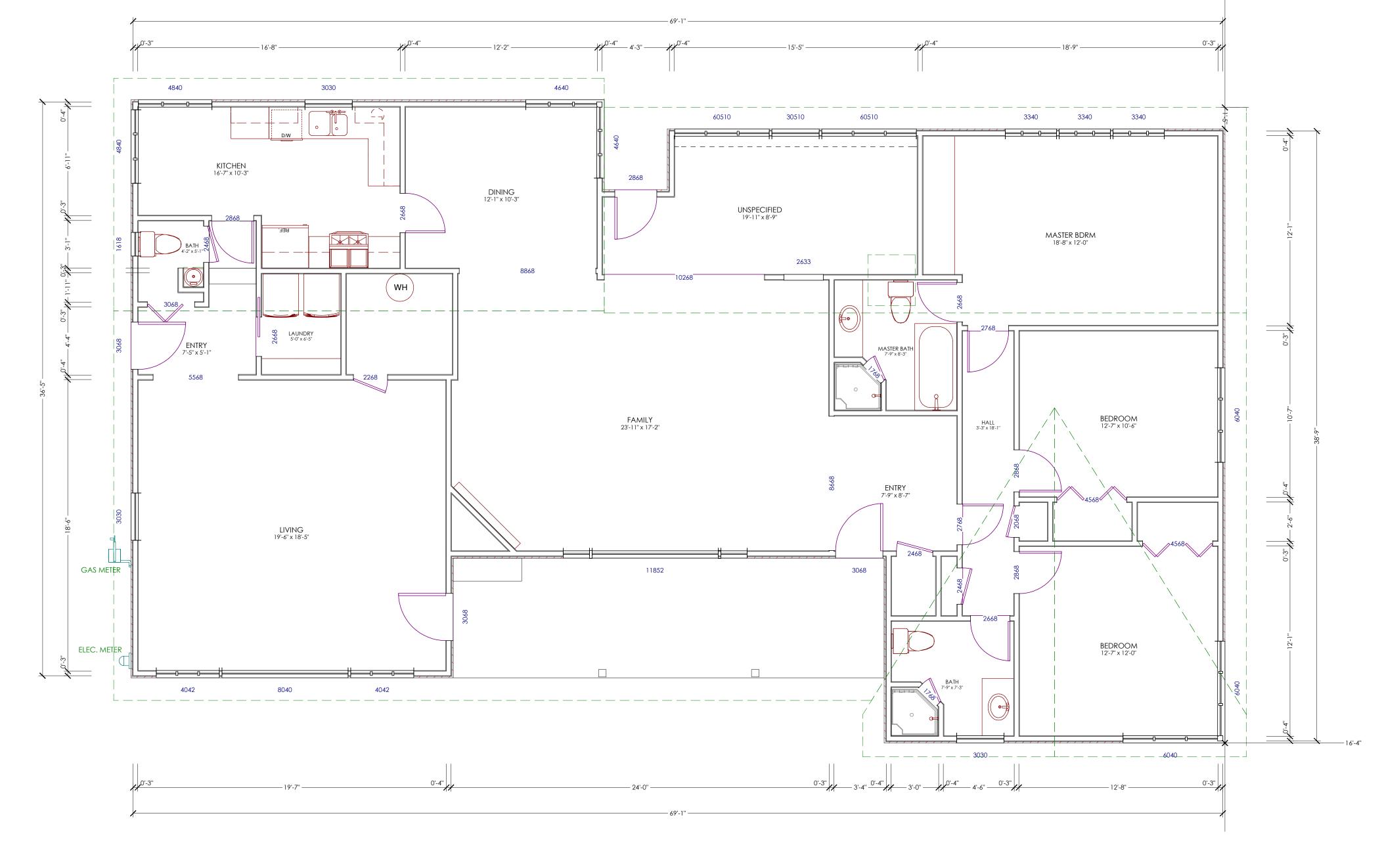


EXISTING RIGHT ELEVATION



EXISTING LEFT ELEVATION

SC: 1/8" = 1'-0"





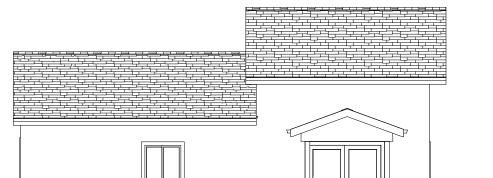
# LEGEND:

EXISTING WALL TO BE REMOVED

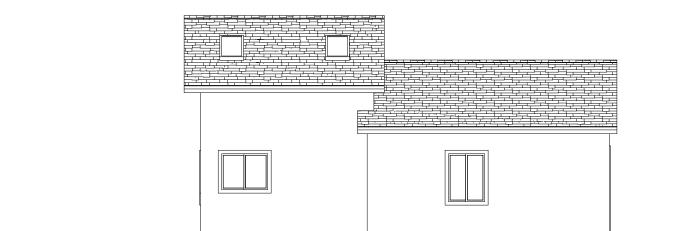
GRAPHIC SCALE: 1 INCH = 4 FEET

0 1 2 3 4 5 10

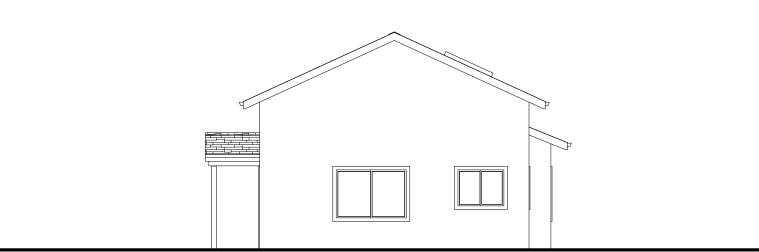
EXISTING FLOOR PLAN

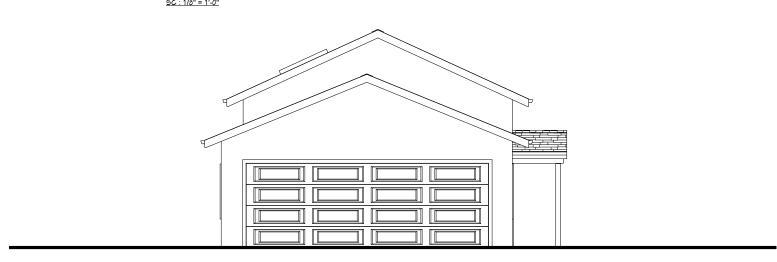


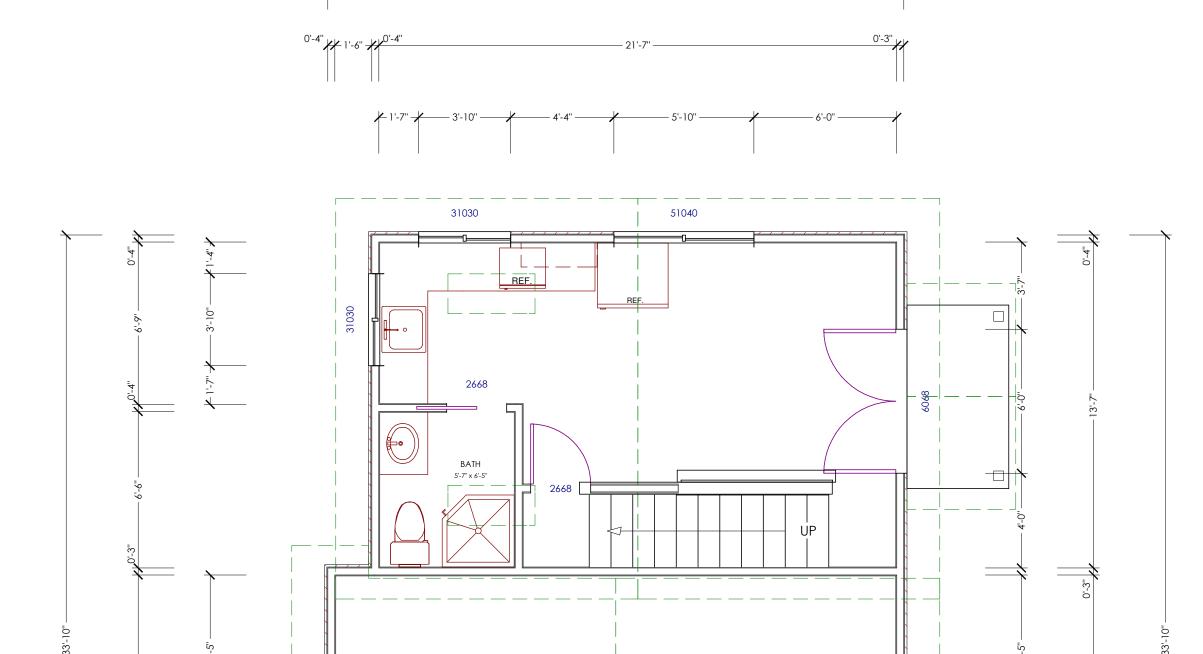
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION







EXISTING FLOOR PLAN

5C: 1/4" = 1'-0"

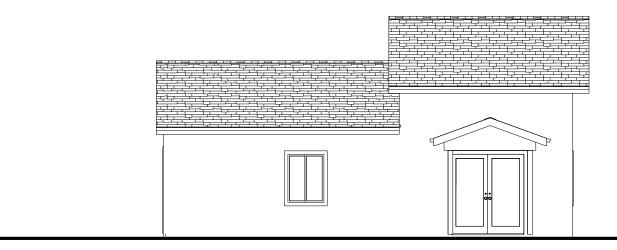


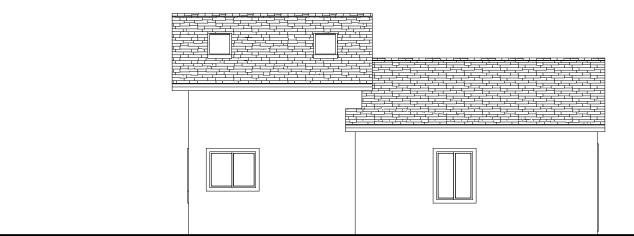
# **LEGEND:**

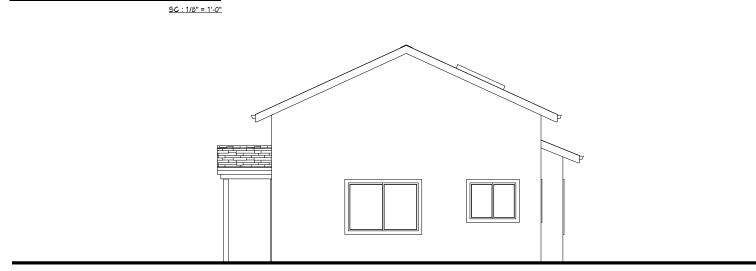
EXISTING WALL TO BE REMOVED

GRAPHIC SCALE: 1 INCH = 4 FEET









EXISTING RIGHT ELEVATION

50:118" = 1-0"

EXISTING LEFT ELEVATION

SG: 1/6" = 1'-0"

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SHEET TITLE:

EXISTING RAGE & ACCESSC UNIT

NEW CONSRTUCTION FOR:

## Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

09.09.13 DATE: 1/4" = 1" **DRAWN BY:** D - 1306 - 06 JOB NO:



BOO esign\_

21060 HOMESTEAD RD., SUITE 130 CUPERTINO, CA 95014 Tell: (408) 771-5935

EMAIL: contact@bod-e.com

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF B.O.DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF B.O.DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF B.O.DESIGN. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

SHEET TITLE:

PROPOSED 1st

NEW CONSRTUCTION FOR:

### Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

DATE: 09.09.13

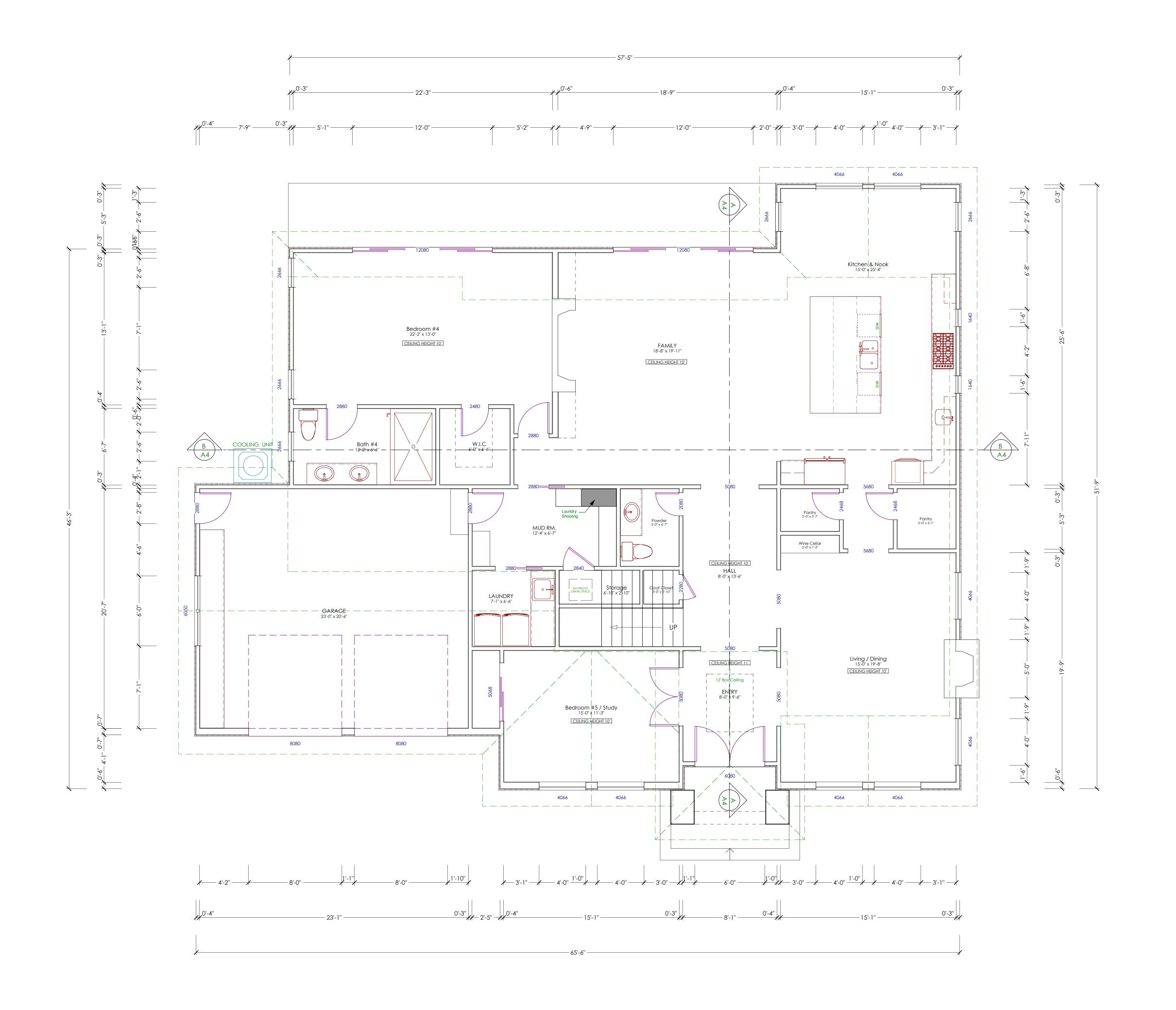
SCALE: 1/4" = 1"

DRAWN BY:

**JOB NO:** D - 1306 - 06

HEET:

**A** 





# **LEGEND:**

NEW CONSTRUCTION WALL

PROPOSED 1st FLOOR PLAN

SC: 1/4" = 1'-0"

21060 HOMESTEAD RD., SUITE 130 CUPERTINO, CA 95014 Tell: (408) 771-5935 EMAIL: contact@bod-e.com

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SHEET TITLE:

PROPOSED 2nd

NEW CONSRTUCTION FOR:

### Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

DATE: 09.09.13

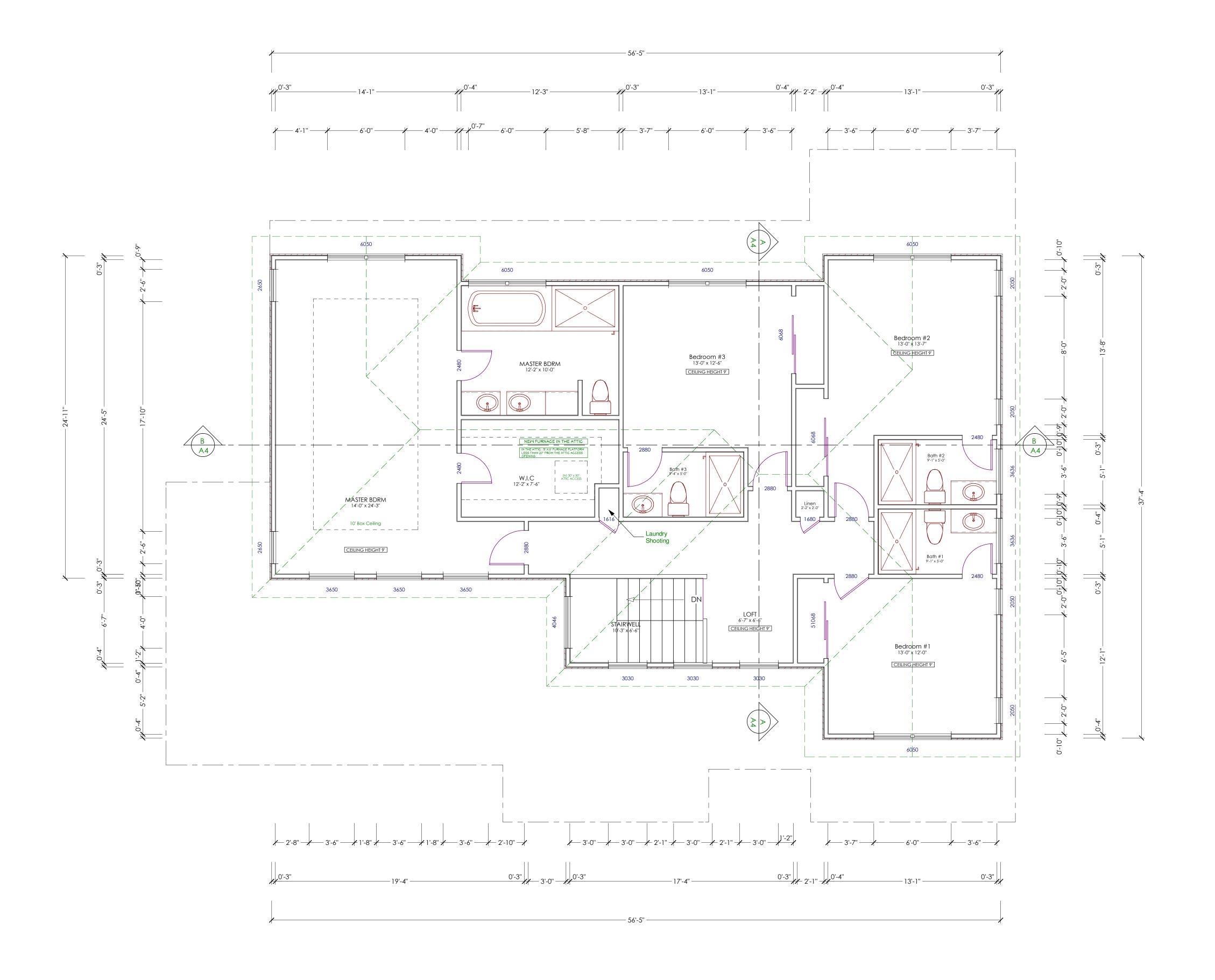
SCALE: 1/4" = 1"

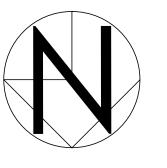
DRAWN BY:

**JOB NO:** D - 1306 - 06

IEET :

42.1





# LEGEND:

BOO esign\_

21060 HOMESTEAD RD., SUITE 130 CUPERTINO, CA 95014 Tell: (408) 771-5935 EMAIL: contact@bod-e.com

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SHEET TITLE:

PROPOSED ELEVATIONS

NEW CONSRTUCTION FOR:

### Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

 DATE:
 09.09.13

 SCALE:
 1/4" = 1"

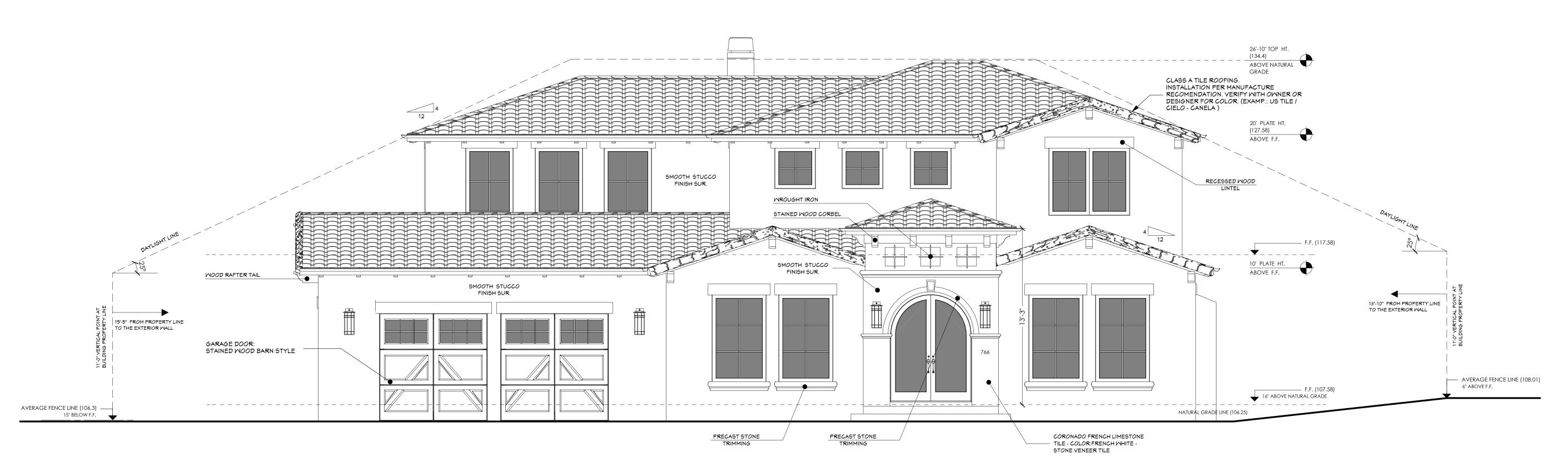
 DRAWN BY:
 PF

 JOB NO:
 D - 1306 - 06

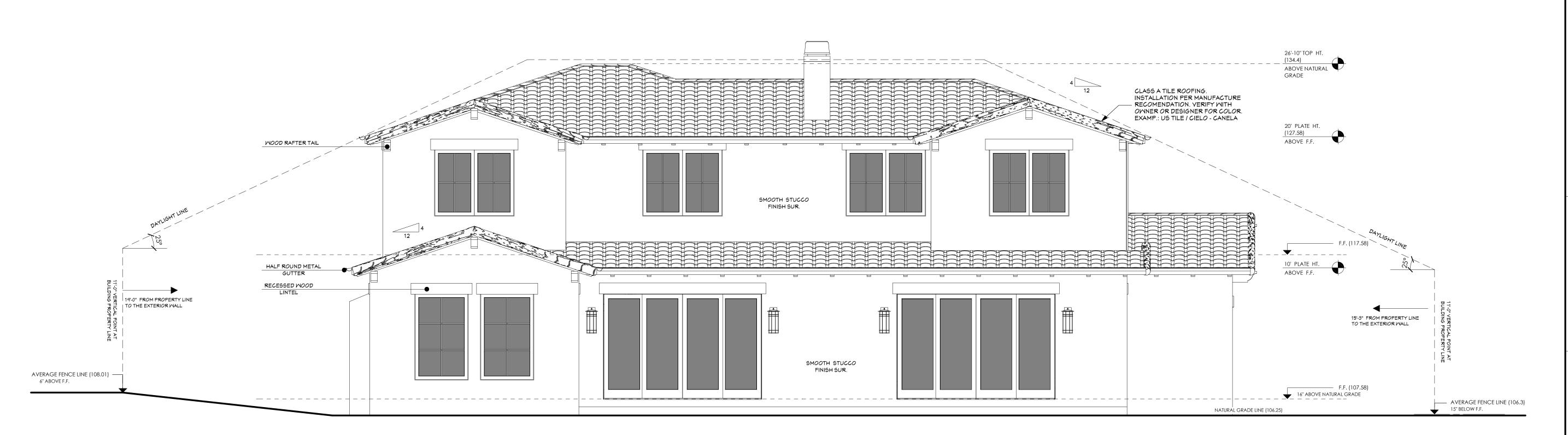
SHEET:

•

4-3



# PROPOSED FRONT ELEVATION SC: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SC: 1/4" = 1'-0"

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SHEET TITLE:

NEW CONSRTUCTION FOR:

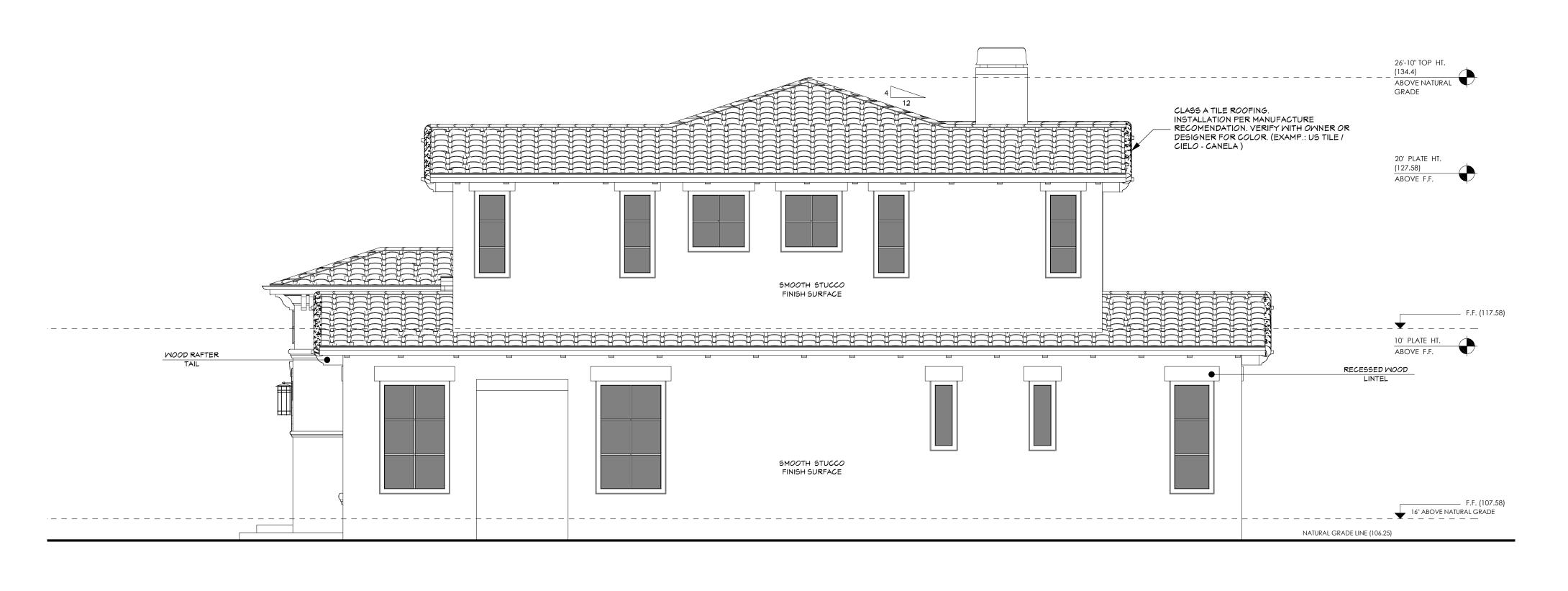
### Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

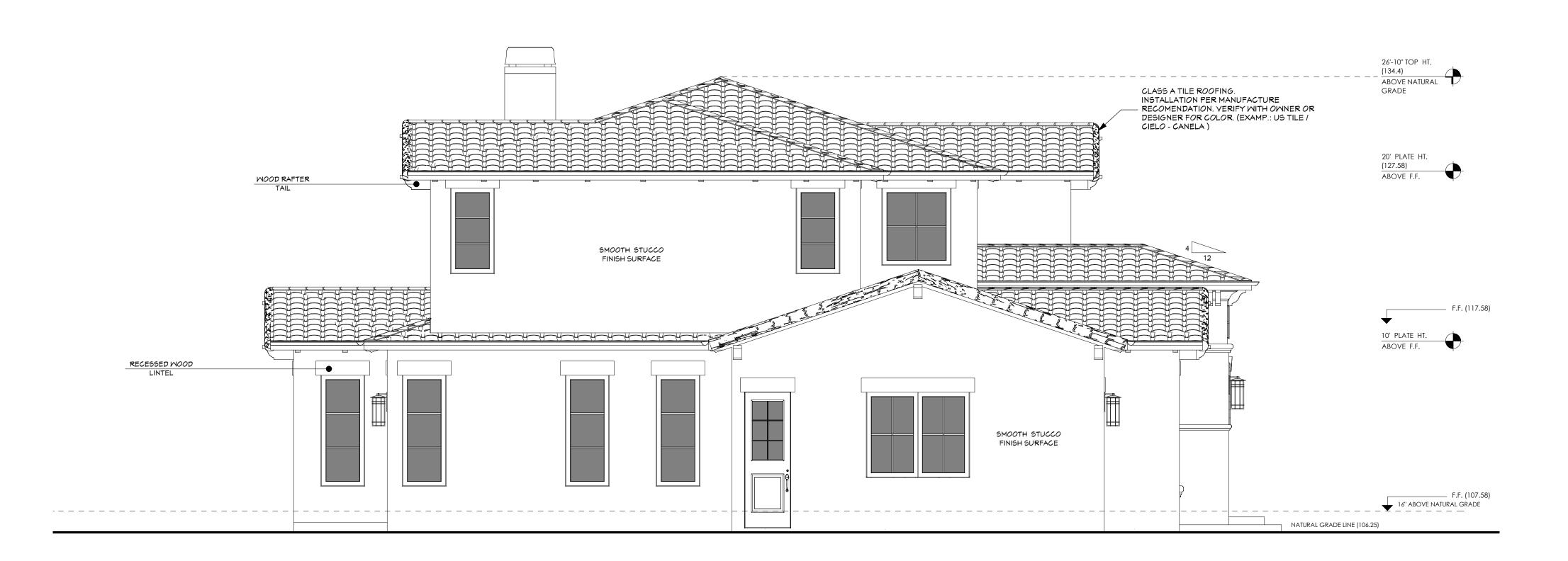
09.09.13 DATE: 1/4" = 1" **DRAWN BY:** 

JOB NO:

D - 1306 - 06



# PROPOSED RIGHT ELEVATION



PROPOSED LEFT ELEVATION

EMAIL: contact@bod-e.com

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SHEET TITLE:

HEADER SEE STRUCT. DWG.

CEM. PLAST. SYSTEM

1/2" GYP. BD.

PROPOSED SECTIONS

NEW CONSRTUCTION FOR:

# Nick & Monica

766 Raymundo Ave. Los Altos ,CA 94024

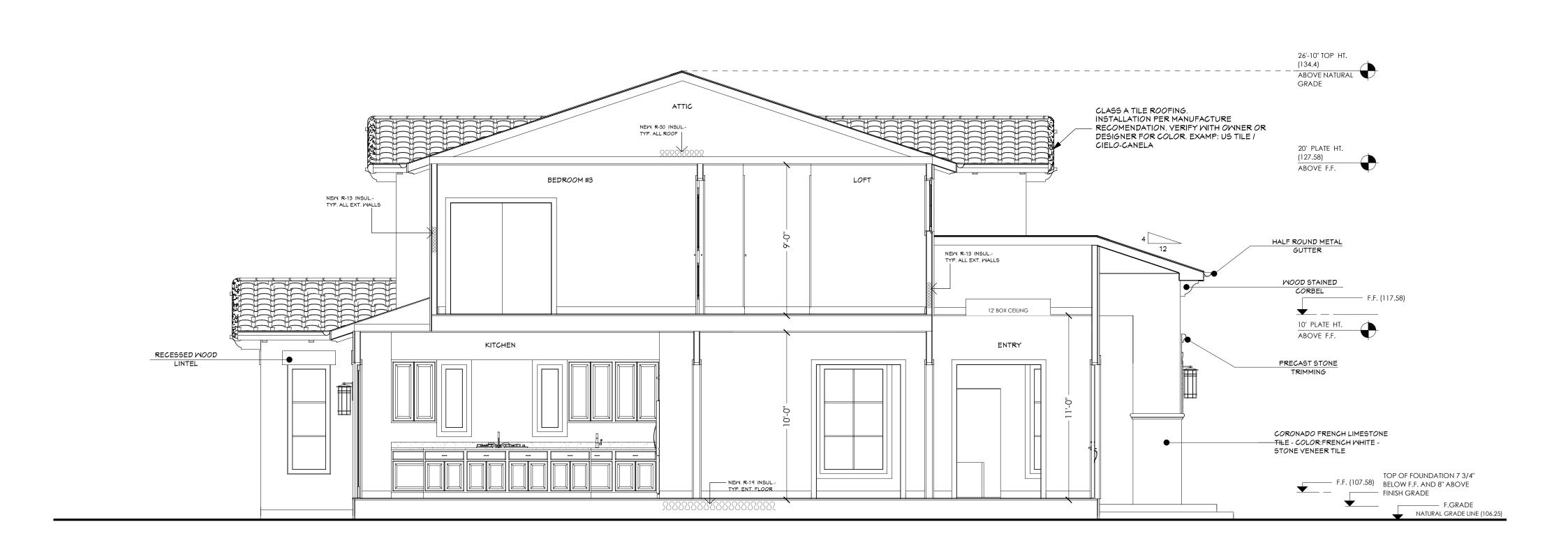
**DATE:** 09.09.13 **SCALE:** 1/4" = 1"

**JOB NO**: D - 1306 - 06

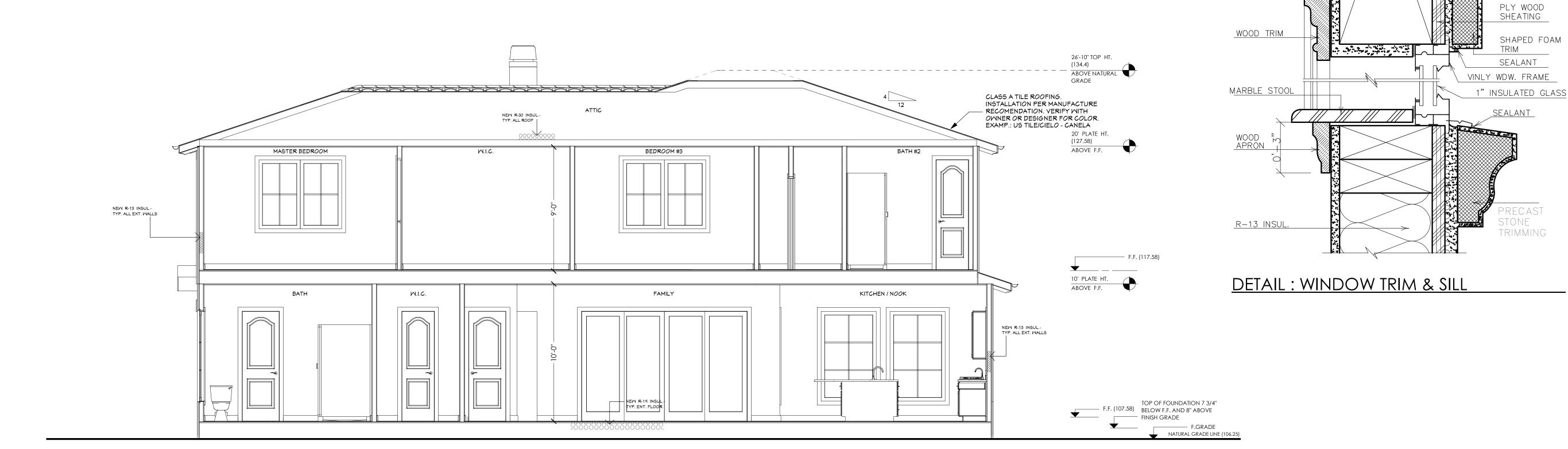
SHEET:

**DRAWN BY:** 

A-4



# A - A CROSS SECTION



B - B CROSS SECTION

SC: 1/4" = 1'-0"