



DATE: July 17, 2013

AGENDA ITEM # 1

TO: Design Review Commission
FROM: Sierra Davis, Assistant Planner
SUBJECT: 13-SC-09 – 1396 Pritchett Court

RECOMMENDATION:

Approve design review application 13-SC-09 subject to the findings and conditions.

PROJECT DESCRIPTION

This is a design review application for an approximately 85 square foot addition to a two story house. The following table summarizes the project:

GENERAL PLAN DESIGNATION: Single-family, Residential
ZONING: R1-10
PARCEL SIZE: 12,207 square feet
MATERIALS: Stucco, wood doors, wood window trim, wood trellis and composition roof.

	Existing	Proposed	Allowed/Required
LOT COVERAGE:	3,662 square feet	3,509 square feet	3,662 square feet
FLOOR AREA:			
First floor	2,590 square feet	2,590 square feet	
Second floor	1,293 square feet	1,377 square feet	
Total	2,042 square feet	3,967 square feet	3,971 square feet
SETBACKS:			
Front	25 feet	N/A	25 feet
Rear	23 feet	N/A	25 feet
Right side	16 feet	N/A	10 feet/17.5 feet
Left side	15 feet	N/A	10 feet/17.5 feet
HEIGHT:	22 feet	20 feet	27 feet

BACKGROUND

The subject property is located in a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines. The homes in the neighborhood are one- and two-story, low profile,

single-family homes, with simple forms and rustic materials. The street is improved with curb and gutters and does not have a consistent street tree pattern.

DISCUSSION

According to tour design guidelines the goal in designing an addition to an existing house is that the addition should look as if the addition was included in the original house design. The project integrates the addition into the existing design by removing a balcony and replacing it with an addition that follows the same form consistent with the original design. The addition relates well to the character of the house, as it is compatible with the simple forms and materials.

The proposed bathroom addition of 85 square feet to the second story replaces a balcony. The proposed second story addition has a setback of 17 feet, six inches which is consistent with the zoning requirements. The design uses high quality materials that will match the existing house. The materials include stucco, wood doors, wood window trim, wood trellis and composition roof.

Privacy and Landscaping

The addition does not present a privacy concern as the addition includes one new window facing the street. The existing balcony has a double door facing the adjacent property's front yard. The addition will offer more privacy as the new window faces a more public area and additional landscaping will not be required.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15301 of the Environmental Quality Act because it involves additions to an existing structure.

Cc: Timeline Design, Applicant and Designer
Matt and Christy Reed, Owners

Attachments:

- A. Application
- B. Neighborhood Compatibility Worksheet
- C. Area Map and Vicinity Map

FINDINGS

13-SC-09—1396 Pritchett Court

1. With regard to design review for an addition to a two-story structure, the Design Review Commission finds the following in accordance with Section 14.76.050 (A-F) of the Municipal Code:
 - a. The proposed structure complies with all provision of this chapter;
 - b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
 - c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
 - d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk;
 - e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
 - f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

13-SC-09—1396 Pritchett Court

1. The approval is based on the plans received on July 3, 2013 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. Obtain an encroach permit issued from the Engineering Division prior to doing any work within the public street right-of-way.
3. **Prior to zoning clearance, the project plans shall contain/show:**
 - a. The conditions of approval shall be incorporated into the title page of the plans.
 - b. The location of any air conditioning equipment on the site plan and the sound rating for such equipment.
 - c. Show the measures to comply with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).
4. **Prior to final inspection:**
 - a. All front yard and privacy screening shall be maintained and/or installed as required by the Planning Division.



ATTACHMENT A

CITY OF LOS ALTOS
GENERAL APPLICATION

Type of Review Requested: (Check all boxes that apply)

Permit # 1105628

Table with 3 columns and 7 rows listing review types: One-Story Design Review, Two-Story Design Review, Variance(s), Lot Line Adjustment, Tentative Map/Division of Land, Subdivision Map Review, Sign Review, Sidewalk Display Permit, Use Permit, Tenant Improvement, Preliminary Project Review, Commercial Design Review, Multiple-Family Review, Rezoning, R1-S Overlay, General Plan/Code Amendment, Appeal, Other.

Project Address/Location: 1396 PRITCHETT COURT
Project Proposal/Use: SINGLE FAMILY 2ND STORY ADDITION 84.5 #
Current Use of Property: SINGLE FAMILY
Assessor Parcel Number(s): 197-19-019 Site Area: 12207.05
New Sq. Ft.: 84.5 Remodeled Sq. Ft.: - Existing Sq. Ft. to Remain: 3882.4 #
Total Existing Sq. Ft.: 3882.4 Total Proposed Sq. Ft. (including basement): 3967 #

Applicant's Name: TIMELINE DESIGN - STEVEN DIAZ
Home Telephone #: Business Telephone #: 408 741-3000 EXT 27
Mailing Address: 14401 BIG BASIN WAY, #
City/State/Zip Code: SARATOGA, CA 95070

Property Owner's Name: MATT & CHRISTY REED
Home Telephone #: 650-938-9126 Business Telephone #:
Mailing Address: 1396 PRITCHETT CT, #
City/State/Zip Code: LOS ALTOS

Architect/Designer's Name: STEVEN DIAZ Telephone #: 408 741-3000 EXT 27

*** If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. ***



NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 1396 PECKHAM CT

Scope of Project: Addition or Remodel _____ or New Home _____

Age of existing home if this project is to be an addition or remodel? BUILT 1965 ~ 50 YRS

Is the existing house listed on the City's Historic Resources Inventory? NO

* See "What constitutes your neighborhood" on page 2.

Address: 1396 PEIOWETT CT
Date: 5/17/13

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: ≈ 11,324 \square square feet
Lot dimensions: Length ≈ 124 feet
Width ≈ 66.29 feet

If your lot is significantly different than those in your neighborhood, then note its: area 12207.05, length 109, and width 130.78.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? 25'
What % of the front facing walls of the neighborhood homes are at the front setback %
Existing front setback for house on left ft./on right ft.
Do the front setbacks of adjacent houses line up? No

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)

Garage facing front projecting from front of house face 5
Garage facing front recessed from front of house face 0
Garage in back yard 0
Garage facing the side 0
Number of 1-car garages 0; 2-car garages 2; 3-car garages 3

Address: 1296 FERRIS CT
Date: 5/20/13

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:
One-story 75 (6)
Two-story 25 (2)

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? ± 15
Are there mostly hip 4, gable style 4, or other style ___ roofs*?
Do the roof forms appear simple 8 or complex 0?
Do the houses share generally the same eave height 15'? For 1 story

6. Exterior Materials: (Pg. 22 Design Guidelines)

27' For 2 story

What siding materials are frequently used in your neighborhood*?
0 wood shingle 4 stucco 3 board & batten 1 clapboard
___ tile ___ stone ___ brick ___ combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?
SHAKE + CEMENT TILE
If no consistency then explain: _____

7. Architectural Style: (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?
 YES NO
Type? Ranch ___ Shingle ___ Tudor ___ Mediterranean/Spanish
 Contemporary ___ Colonial ___ Bungalow ___ Other

Address: 1306 PRICHETT CT
Date: 5/20/13

8. Lot Slope: (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)
TO THE STREET GUTTER

Is your slope higher _____ lower same _____ in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?
LAWNS + BIG TREES, NO SIDEWALKS

How visible are your house and other houses from the street or back neighbor's property?
CURB IS NOT SO VISIBLE SINCE IT HAS THE MOST TREES FRONT + BACK. OTHERS HAVE TREES IN REAR YARD -

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?
WE HAVE A GROVE OF REDWOODS IN THE FRONT AND MANY TREES ALONG REAR PROPERTY LINES + RIGHT OF WAY HAS TREES, LAWN, AND DRIVEWAY

10. Width of Street:

What is the width of the roadway paving on your street in feet? 40'
Is there a parking area on the street or in the shoulder area? SHOULDER AREA
Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? SEE ABOVE - LARGE REDWOOD TREES, LAWN, GUTTER

Address: 1396 Parkett Ct
Date: 5/20/13

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

MILWAUKEE style, Big trees, Most use stucco & shake roofing & some brick, roofs vary from front porch, gable, hip, gambrel but all use 27" tall

General Study

- A. Have major visible streetscape changes occurred in your neighborhood?
 YES NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?
 YES NO
- C. Do the lots in your neighborhood appear to be the same size?
 YES NO $\pm 8,000$
- D. Do the lot widths appear to be consistent in the neighborhood?
 YES NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?
 YES NO
- F. Do you have active CCR's in your neighborhood? (p.36 Building Guide)
 YES NO
- G. Do the houses appear to be of similar size as viewed from the street?
 YES NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
 YES NO

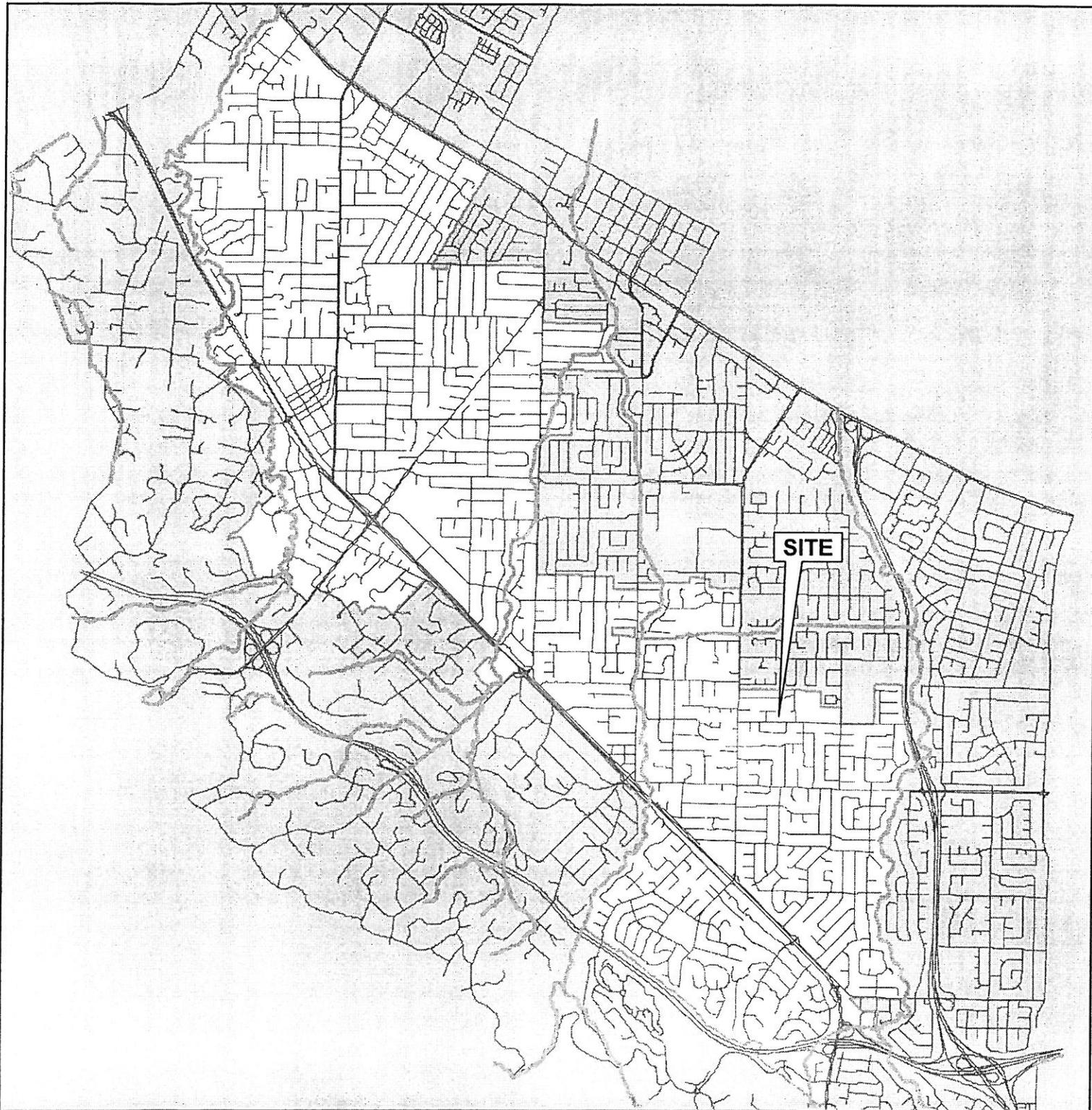
Address: 1396 Peichett Ct
 Date: 5/17/13

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
1393 PEICHETT CT	35±'	29'	FRONT	1	15'	T-11 SIDING BLACK POSTS	SM
1397 PEICHETT CT	35±'	20'	FRONT	1	15'	T-11 SIDING STONE BAND	SM
1401 PEICHETT CT	31±'	33'	FRONT	1	18'	BOARD/BATTEN	SM
1400 PEICHETT CT	35±'	22'	FRONT	1	18'	BRICK/STUCCO	SM
1390 PEICHETT CT	25±'	38'	FRONT	2	26'	STUCCO	SM
1409 OAK AVE	35±'	30'	FRONT	1	14'	BOARD/BATTEN	SM
1413 OAK AVE	31±'	16'	FRONT	1	15'	STUCCO/STONE	SM
1419 OAK AVE	32±'	19'	SIDE	2	25'	BOARD/BATTENS	SM

AREA MAP



CITY OF LOS ALTOS

APPLICATION: 13-SC-09
APPLICANT: Timeline Design / M. and C. Reed
SITE ADDRESS: 1396 Pritchett Court

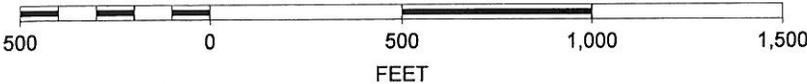


Not to Scale

VICINITY MAP



SCALE 1 : 6,000



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