



DATE: May 1, 2013  
AGENDA ITEM # 4

**TO:** Design Review Commission  
**FROM:** Sean K. Gallegos, Assistant Planner  
**SUBJECT:** 13-SC-02 – 1695 Ben Roe Drive

**RECOMMENDATION:**

Approve design review application 13-SC-02 subject to the listed findings and conditions.

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**PROJECT DESCRIPTION**

This is a design review application for the demolition of a one-story residence and construction of a two-story residence. The project includes 3,540 square feet with 2,469 on the first floor and 1,071 square feet on the second floor. The following table summarizes the project:

**GENERAL PLAN DESIGNATION:** Single-family, Residential  
**ZONING:** R1-10  
**PARCEL SIZE:** 10,140 square feet  
**MATERIALS:** Clay barrel tile, stucco with smooth finish and bull-nose corners, wood corbels, wood shutters, wood posts, wood knee braces, aluminum wood clad windows, wood entry door

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>LOT COVERAGE:</b>	2,646 square feet	2,920 square feet	3,042 square feet
<b>FLOOR AREA:</b>			
First floor	2,646 square feet	2,469 square feet	
Second floor		1,071 square feet	
Total	2,646 square feet	3,540 square feet	3,549 square feet
<b>SETBACKS:</b>			
Front	25 feet	25 feet	25 feet
Rear	10 feet	30 feet	25 feet
Right side	20 feet	20 feet/37 feet	10 feet/17.5 feet
Left side	10 feet	10 feet/21 feet	10 feet/17.5 feet
<b>HEIGHT:</b>	16	26 feet	27 feet

## BACKGROUND

The subject property is located in a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines. The homes in the neighborhood are a mix of newer and older one- and two-story Ranch style, single-family homes, with low plate heights and simple roof forms (low-pitched gable and hipped roofs), rustic materials, with wood siding dominant. The residences are similar in massing and building footprint with a uniform pattern of 25-foot front yard setbacks, 10-foot side setbacks and 20-foot exterior side setbacks. While there is not a distinctive street tree pattern on either street, there are many large trees along both streets.

## DISCUSSION

According to the Design Guidelines, in Consistent Character Neighborhoods, good neighbor design has design elements, materials and scale found within the neighborhood and sizes that are not significantly larger than other homes in the neighborhood. This requires a project to fit in and lessen abrupt changes. The design is well-integrated and does not create an abrupt change. Though the structure has an architectural style different from the houses to the left and right, the detailing and fenestration of the house reflects a high level of quality and appropriate relationship to the rustic qualities of the area. The proposed building materials include smooth stucco with bull-nose corners, wood shaped corbels, wood shutters, aluminum wood clad windows, wood posts, wood knee braces, and barrel tile roofing are integral to the design. The project incorporates design elements that are currently found in the area such as low-sloped hipped roofs, two-car garages, and recessed porches are compatible with house in the area.

The project's scale is larger than neighboring properties and will be one of three, two-story residences on the subject block of Ben Roe Drive and Fallen Leaf Lane. The proposed first floor plate height is ten-feet, and the second floor plate height is eight-feet, four and one-half inches, which is an increase from the eight-foot to nine-foot plate heights of existing residences in the neighborhood. In order to create a scale that is more compatible with the neighborhood and reduce the bulk and mass as viewed from the street, the applicant worked with staff to reduce the first story eave height from nine feet to eight feet along the south and east elevation. The large wrap-around porch provides a strong single story relationship with the adjacent structure and reduces the appearance of the second story when viewed from the street. A formal public entry is located on the Fallen Leaf Lane elevation (east side), and it is not out-of-scale with the varied styles and character of structures on Fallen Leaf Lane. Overall, the proposed two-story residence, with its 27-foot height, does not create the appearance of excessive bulk or mass and is compatible with the surrounding neighborhood.

The design incorporates rustic materials much like the existing homes in the area; however, the clay barrel tile roof is a new material, which is a heavier material than used on other properties. The material can give the impression of a larger scale home because of the scale and difference of the material. The project was proposed with a clay barrel tile roof with multi-color red-orange colored tiles, the applicant worked with staff to lessen the appearance of the roof, by using tiles that are more uniform and earth tone in color. With these modifications, the roof material is compatible with other structures in the area and the design concept.

## **Privacy and Landscaping**

The Residential Design Guidelines recommend that the finished floor be no more than 22 inches above grade. The lot is relatively flat and the house has been designed with a foundation that results in a finished floor height of six to ten inches above existing grade and six inches below the finished floor height of the existing structure. With this low finish floor height and six-foot tall fences between adjoining properties, the proposed first floor side and rear elevations do not create any privacy issues.

The second story windows, except a passive bathroom window and master bedroom window, on the side and rear elevations are smaller in size and have sill heights of more than four feet and mitigate privacy impacts. The large master bathroom window along the side (east) elevation is not a privacy concern because the window has a sill height more than four feet and the passive use of the room. In order to ensure that there are no any unreasonable privacy impacts and to buffer the new construction, the project is conditioned to include evergreen screening along the left side property line. The master bedroom window may create a privacy impact due to direct views into adjacent properties; however, the project will retain four trees (nos. 1-4) along the rear property line and will be conditioned to incorporate fast growing evergreen screen along the rear property line to mitigate privacy concerns. In addition, the four trees in the rear yard will be retained during construction to mitigate view impacts.

There are seven trees on the property and two trees in the public right-of-way (adjacent to the front property line). The project proposes removal of two trees (nos. 5 and 6) in the front yard due to the location of the proposed driveway. A condition has been placed on the project to provide a replacement street tree for the public right-of-way along Ben Roe Drive, and to provide tree protective fencing for retained trees on the site.

## **CORRESPONDENCE**

Staff received an email from residents (left side of the subject site) who are concerned the scale of the structure, and the second story windows along the left (east) and rear (north) side would result in privacy impacts to their side and rear yard. The project complies with the daylight plane requirement, which is intended to provide for light and air, and to limit the impacts of bulk and mass on adjacent properties. As conditioned, the structure maintains 21-foot side yard and 43-foot rear second-story setback, and landscape buffer will be utilized between adjacent properties to further mitigate privacy impacts.

## **ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15303 of the Environmental Quality Act because it involves the construction of a single-family land use.

Cc: Daryl Harris, Applicant and Designer  
Mike and Queenie Abbott, Owner

Design Review Commission  
13-SC-02, 1695 Ben Roe Drive  
May 1, 2013

Attachments:

- A. Application
- B. Neighborhood Compatibility Worksheet
- C. Area Map and Vicinity Map
- D. Comment Email from Neighbor, Ross and Cindy Lappin dated April 24, 2013

## FINDINGS

13-SC-02—1695 Ben Roe Drive

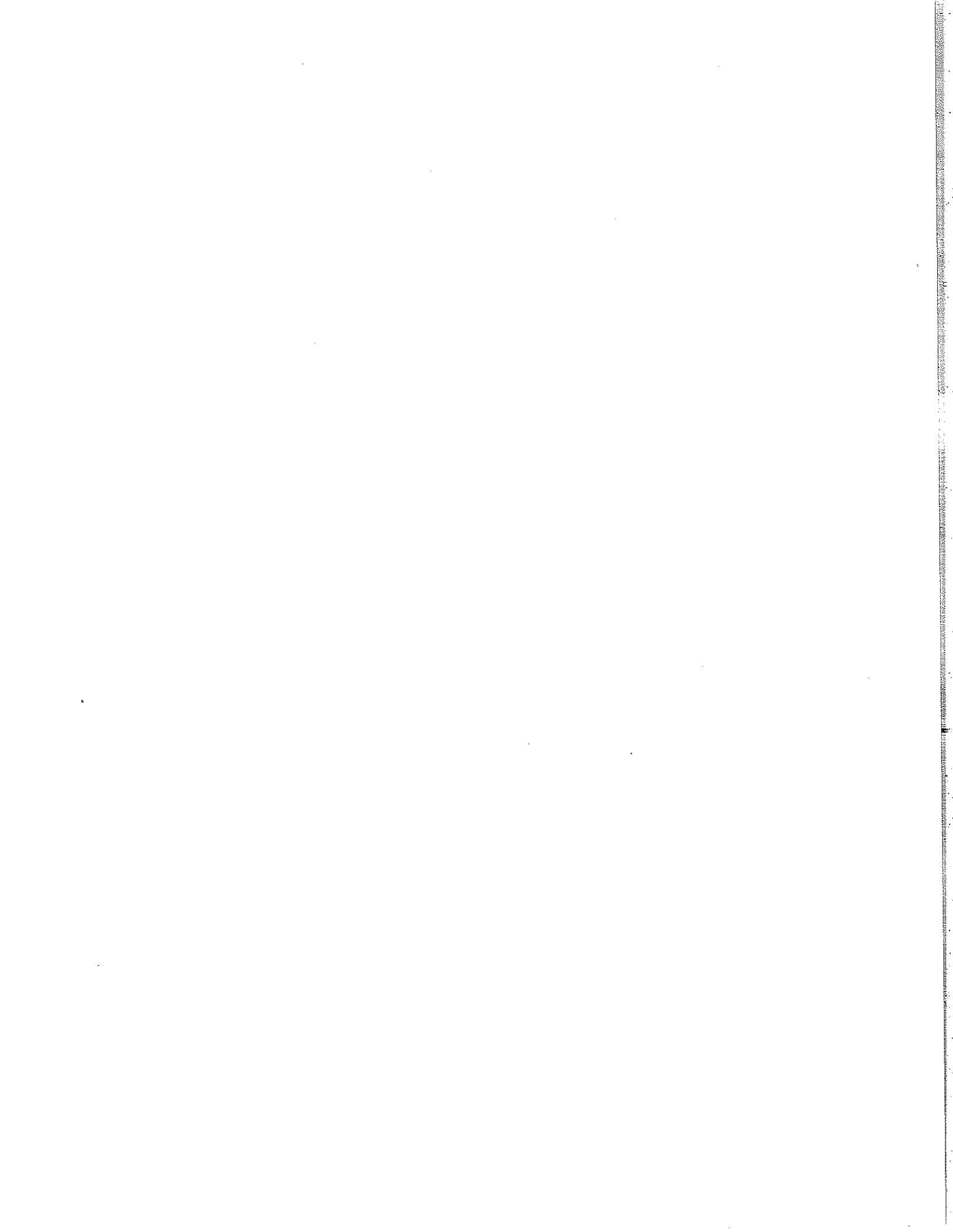
1. With regard to design review for the two-story structure, the Design Review Commission finds the following in accordance with Section 14.76.050 (A-F) of the Municipal Code:
  - a. The proposed structure complies with all provision of this chapter;
  - b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
  - c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
  - d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk;
  - e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
  - f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

## CONDITIONS

13-SC-02—1695 Ben Roe Drive

1. The approval is based on the plans received on April 16, 2013 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. The following trees (nos. 1, 2, 3, 4 and 7) shall be protected under this application and shall not be removed without a tree removal permit from the Community Development Director.
3. Obtain an encroachment permit issued from the Engineering Division prior to doing any work within the public street right-of-way.
4. Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.
5. Provide a landscape plan for the front and exterior side and the one Category I or II street tree along the south property line and a fast growing evergreen landscape screening along the west and north property line (across from the master bedroom window), continuing the rear property line. The plants shall be a minimum of 15 gallon in size.
6. **Prior to the issuance of a demolition permit**, install tree protection fencing around the dripline, or as required by the project arborist, of the following trees (nos. 1-4 and 7) as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground. **The tree protection fencing shall not be removed until the building permit is ready for final.**
7. The project has more than 5,000 square feet of new landscape area and is subject to the City's Water Efficient Landscape Regulations (LAMC Chapter 12.36).
8. **Prior to zoning clearance, the project plans shall contain/show:**
  - a. The conditions of approval shall be incorporated into the title page of the plans.
  - b. On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground." **The tree protection fencing shall be installed prior to issuance of the demolition permit and shall not be removed until all building construction has been completed.**
  - c. Provide a landscape plan prepared by a licensed landscape professional showing how the plans comply with the City's Water Efficient Landscape Regulations (LAMC Chapter 12.36).
  - d. Verification that the house will comply with the City's Green Building Standards (Section 12.26 of the Municipal Code) from a Qualified Green building Professional.
  - e. Fire sprinklers to be installed pursuant to Section 12.10 of the Municipal Code.

- f. The location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches should avoid the drip-lines of all protected trees.
  - g. The location of any air conditioning equipment on the site plan and the sound rating for such equipment.
  - h. Show the measures to comply with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).
9. **Prior to final inspection:**
- a. All front and exterior side yard landscaping and privacy screening shall be maintained and/or installed as required by the Planning Division.
  - b. Submit verification that the house was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.
  - c. Provide a landscape installation assessment by a certified landscape professional certifying that the landscaping and irrigation system were installed per the approved landscape plan and are compliant with LAMC Chapter 12.36.





# ATTACHMENT A

## CITY OF LOS ALTOS GENERAL APPLICATION

Type of Review Requested: *(Check all boxes that apply)*

Permit # 1105518

<input type="checkbox"/> One-Story Design Review	<input type="checkbox"/> Sign Review	<input type="checkbox"/> Multiple-Family Review
<input checked="" type="checkbox"/> Two-Story Design Review	<input type="checkbox"/> Sidewalk Display Permit	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Variance(s)	<input type="checkbox"/> Use Permit	<input type="checkbox"/> R1-S Overlay
<input type="checkbox"/> Lot Line Adjustment	<input type="checkbox"/> Tenant Improvement	<input type="checkbox"/> General Plan/Code Amendment
<input type="checkbox"/> Tentative Map/Division of Land	<input type="checkbox"/> Preliminary Project Review	<input type="checkbox"/> Appeal
<input type="checkbox"/> Subdivision Map Review	<input type="checkbox"/> Commercial Design Review	<input type="checkbox"/> Other:

Project Address/Location: 1695 BEN ROE AV

Project Proposal/Use: SINGLE FAMILY RESIDENCE W/ ATTACHED GARAGE

Current Use of Property: SINGLE FAMILY RESIDENCE W/ ATTACHED GARAGE

Assessor Parcel Number(s) 318-20-034 Site Area: 10,140 S.F.

New Sq. Ft.: 3,540 Remodeled Sq. Ft.: 0 Existing Sq. Ft. to Remain: 0

Total Existing Sq. Ft.: 2,646 Total Proposed Sq. Ft. (including basement): 3,540

Applicant's Name: DARYL V. HARRIS

Home Telephone #: (916) 769-7042 Business Telephone #: (530) 268-3055

Mailing Address: 22867 SUNSET RIDGE DRIVE

City/State/Zip Code: Suburn, CA 95602

Property Owner's Name: MIKE and QUEENIE ABBOTT

Home Telephone #: (408) 464-3752 Business Telephone #: \_\_\_\_\_

Mailing Address: 1695 BEN ROE AV

City/State/Zip Code: LOS ALTOS, CA 94022

Architect/Designer's Name: DARYL V. HARRIS Telephone #: (530) 268-3055

\*\*\* If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. \*\*\*

(continued on back)



# ATTACHMENT B



City of Los Altos

Planning Division

(650) 947-2750

[Planning@losaltosca.gov](mailto:Planning@losaltosca.gov)

## NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1<sup>st</sup> application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 1695 BEN ROE AVE

Scope of Project: Addition or Remodel \_\_\_\_\_ or New Home

Age of existing home if this project is to be an addition or remodel? N/A

Is the existing house listed on the City's Historic Resources Inventory? N/A

*Neighborhood Compatibility Worksheet*

*Page 1*

\* See "What constitutes your neighborhood" on page 2.

Address: 1695 BEN ROE AVE  
Date: 2/26/2013

### What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

### Streetscape

#### 1. Typical neighborhood lot size\*:

Lot area: 10,140 square feet  
Lot dimensions: Length 90 feet  
Width 113 feet

If your lot is significantly different than those in your neighborhood, then note its: area N/A, length N/A, and width N/A.

#### 2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? N/A  
What % of the front facing walls of the neighborhood homes are at the front setback 100 %  
Existing front setback for house on left 25' ft./on right 25' ft.  
Do the front setbacks of adjacent houses line up? YES

#### 3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood\* only on your street (count for each type)

Garage facing front projecting from front of house face 8  
Garage facing front recessed from front of house face 0  
Garage in back yard 0  
Garage facing the side 2  
Number of 1-car garages 0; 2-car garages 10; 3-car garages 0

Address: 1695 BEN ROE AVE  
Date: 2/26/2013

**4. Single or Two-Story Homes:**

What % of the homes in your neighborhood\* are:

One-story 6

Two-story 4

**5. Roof heights and shapes:**

Is the overall height of house ridgelines generally the same in your neighborhood\*? NO

Are there mostly hip 6, gable style 2, or other style 2 roofs\*?

Do the roof forms appear simple 8 or complex 2?

Do the houses share generally the same eave height NO?

**6. Exterior Materials: (Pg. 22 Design Guidelines)**

What siding materials are frequently used in your neighborhood\*?

5 wood shingle 2 stucco 5 board & batten 2 clapboard  
1 tile     stone 6 brick 6 combination of one or more materials  
(if so, describe) STUCCO/BRICK AND BATTEN/BRICK

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?  
NO

If no consistency then explain: 1-TILE, 4-COMP ROOF, 5-WOOD SHAKE

**7. Architectural Style: (Appendix C, Design Guidelines)**

Does your neighborhood\* have a consistent identifiable architectural style?

YES  NO

Type? 7 Ranch     Shingle 1 Tudor     Mediterranean/Spanish  
2 Contemporary     Colonial     Bungalow     Other

Address: 1695 BEN ROE AVE  
Date: 2/26/2013

**8. Lot Slope:** (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? NO

What is the direction of your slope? (relative to the street)  
N/A

Is your slope higher \_\_\_\_\_ lower \_\_\_\_\_ same  in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

**9. Landscaping:**

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?  
FRONT LAWNS, ROLLED CURB WITH NO SIDEWALKS

How visible are your house and other houses from the street or back neighbor's property?  
HOUSE IS VISIBLE FROM THE STREET AS ARE ALL THE OTHER HOUSES

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

THERE ARE NO MAJOR EXISTING LANDSCAPE FEATURES. THE FRONT AND STREET SIDE YARDS HAVE LAWNS THAT EXTEND TO ABOUT 10 FEET FROM THE ROLLED CURB WHICH HAS GRAVEL.

**10. Width of Street:**

What is the width of the roadway paving on your street in feet? 30'

Is there a parking area on the street or in the shoulder area? NO

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? PAVED STREETS WITH ROLLED CONCRETE GUTTEERS

Address: 1695 BEN ROE AVE  
Date: 2/26/2013

**11. What characteristics make this neighborhood\* cohesive?**

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

ALL FRONT SETBACKS LINE UP BUT HOUSES VARY IN MATERIALS AND NUMBER OF STORIES. THE NEIGHBORHOOD IS IN A STATE OF CHANGE WITH OLDER HOMES EITHER IN NEED OF REMODEL OR DEMOLISH AND RE-BUILD

**General Study**

- A. Have major visible streetscape changes occurred in your neighborhood?  
 YES  NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?  
 YES  NO
- C. Do the lots in your neighborhood appear to be the same size?  
 YES  NO
- D. Do the lot widths appear to be consistent in the neighborhood?  
 YES  NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?  
 YES  NO
- F. Do you have active CCR's in your neighborhood? (p.36 Building Guide)  
 YES  NO
- G. Do the houses appear to be of similar size as viewed from the street?  
 YES  NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?  
 YES  NO

Address: 1695 BEN ROE AVE  
 Date: 2/26/2013

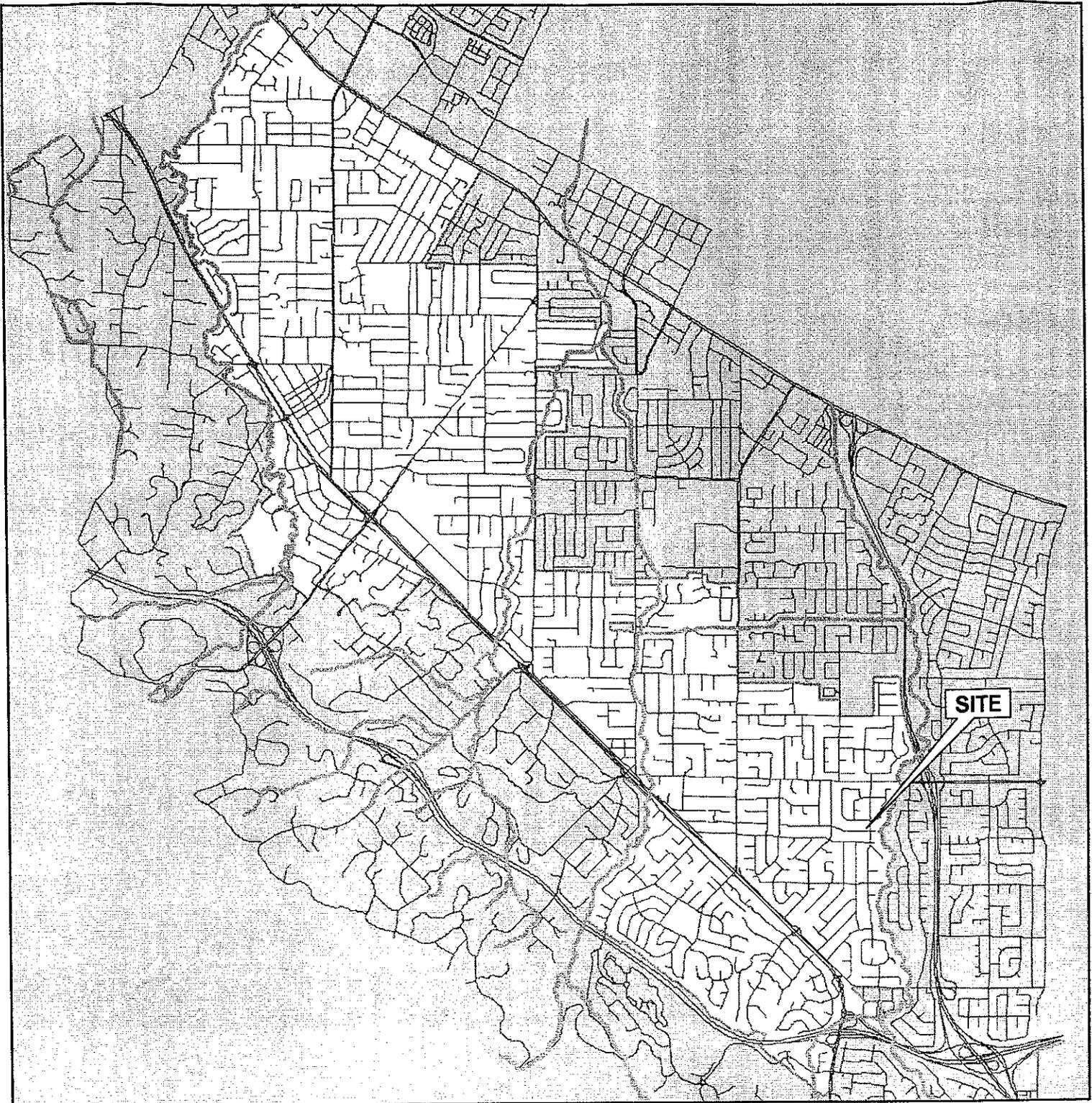
### Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
1695 BEN ROE AVE EXISTING/PROPOSED	25'/25'	10'/29.58'	SIDE/FRONT	ONE/TWO	16'/26.42'	TILE ROOF STUCCO	COMPLEX
1683 BEN ROE AVE	25'	25'	FRONT	ONE	16'	WOOD SHAKE BATTEN/BRICK	SIMPLE
1672 BEN ROE AVE	25'	25'	FRONT	ONE	16'	COMP ROOF BATTEN/BRICK	SIMPLE
1694 BEN ROE AVE	25'	25'	SIDE	ONE	16'	WOOD SHAKE BATTEN/BRICK	SIMPLE
1765 KIRCHER COURT	25'	10'	SIDE	TWO	25'	COMP ROOF BATTEN	SIMPLE
1745 FALLEN LEAF LANE	25'	25'	FRONT	ONE	16'	COMP ROOF BATTEN/BRICK	SIMPLE
1725 FALLEN LEAF LANE	25'	25'	FRONT	TWO	27'	COMP ROOF WOOD/BRICK	COMPLEX
1694 CLAY DRIVE	25'	40'	FRONT	ONE	16'	WOOD SHAKE WOOD	SIMPLE
1684 CLAY DRIVE	25'	40'	FRONT	ONE	18'	WOOD SHAKE WOOD	SIMPLE
1671 BEN ROE AVE	25'	40'	FRONT	TWO	27'	WOOD SHAKE STUCCO/BRICK	SIMPLE

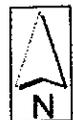
# AREA MAP

# ATTACHMENT C



## CITY OF LOS ALTOS

**APPLICATION:** 13-SC-02  
**APPLICANT:** D. Harris/M. and Q. Abbott  
**SITE ADDRESS:** 1695 Ben Roe Drive

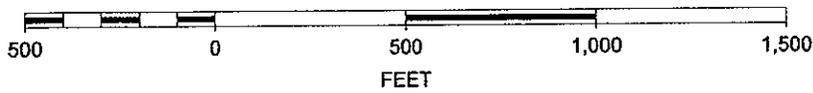


Not to Scale

# VICINITY MAP



SCALE 1 : 6,000



CITY OF LOS ALTOS

**APPLICATION:** 13-SC-02  
**APPLICANT:** D. Harris/M. and Q. Abbott  
**SITE ADDRESS:** 1695 Ben Roe Drive

**Sean Gallegos**

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## ATTACHMENT D

**From:** Ross Lappin [rosslappin@hotmail.com]  
**Sent:** Wednesday, April 24, 2013 8:58 PM  
**To:** Sean Gallegos  
**Subject:** House at 1695 Ben Roe Drive

Sean

As you suggested I am writing a note to you to be included in your staff report to the commission regarding the proposed house to be built at the subject address.

After reviewing the plans and talking to you we have concerns.

At the top of the list is privacy which we cherish dearly.

We have spent thousands of dollars on upgrading our pool, pool deck area, and landscaping because we have always spent a great deal of time enjoying the outdoor lifestyle. We have both recently retired and are able to finally spend more time in this environment we have created. It is heart wrenching to think that after over 27 years in the same home building for the future that it gets ignored, tossed aside, and ruined by newcomers to Los Altos who feel the need build a 3500+ square foot two story home that infringes on our privacy and is not in keeping with the area and simply does not fit on the lot.

The proposed plans call for three windows at the side of the house looming over our property from the second floor.

Our understanding is two of these windows are to be five feet from the floor. Considering the average height of most people at five feet five or more it does not seem hard to stand up straight and look down upon us in our own back yard. Additionally the third and largest window on this side starts at the tub/spa and is full height also overlooking our back yard.

Additionally, considering the location of the rear second floor large window at the back of the master suite it will afford a full view of our pool, the pool deck, and even the grass area on the opposite side of our lot.

Essentially we will have lost all of our privacy which we cherish.

You offered a suggestion that the city stipulate the planting of 15 gallon shrubs/trees in order to block their view. It will take several years for these plantings to achieve sufficient height to return our privacy to us. In the meantime we have lost all privacy. We insist at a minimum if this project continues the owners be required to plant 18' to 20' evergreen trees solid along the entire side yard.

Aside the privacy concerns this house simply does not fit in the immediate neighborhood. Looking around it becomes obvious that there are not that many two story homes. Those that are present are very tastefully tucked back into a lot that is blessed with mature trees and these two story homes look very nice - with few exceptions. There are two mature trees on this lot

4/25/2013

and one of them is to be removed for the driveway.

This house is massive even after you and your staff demanded the peak be removed and the eaves be lowered. After all that - it just doesn't fit.

We request your consideration and that of your department the concerns of long time Los Altos residents over those of a family who do not even live here.

Ross and Cindy Lappin